



**AGENDA
CITY OF ALLEN
PLANNING AND ZONING COMMISSION
REGULAR MEETING
JULY 16, 2019 - 7:00 PM
CITY COUNCIL CHAMBERS
ALLEN CITY HALL
305 CENTURY PARKWAY
ALLEN, TEXAS 75013**

Call to Order and Announce a Quorum is Present

Pledge of Allegiance

Director's Report

1. Action Taken on the Planning and Zoning Commission Items by City Council at the July 9, 2019, Regular Meeting.

Consent Agenda

(Routine P&Z business. Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.)

2. Approve Minutes from the July 2, 2019, Regular Meeting.
3. Final Plat - Consider a Request for a Final Plat for Ridgeview Crossing Phase IIA, Being 13.172± Acres Located in the Francis Dasser Survey, Abstract No. 280 and the George Phillips Survey, Abstract No. 701; Generally Located at the Southwestern Corner of the Intersection of Ridgeview Drive and Chelsea Boulevard. (PL-030819-0068) [Ridgeview Crossing Phase IIA]
4. Final Plat - Consider a Request for a Final Plat for Ridgeview Crossing Phase IIB, Being 26.170± Acres Located in the Francis Dasser Survey, Abstract No. 280; Generally Located Directly South of Ridgeview Drive and Approximately 1,202± Feet West of Chelsea Boulevard. (PL-030819-0067) [Ridgeview Crossing Phase IIB]

Regular Agenda

5. ****ITEM CONTINUED FROM THE JUNE 18, 2019 PLANNING AND ZONING COMMISSION MEETING.****
Public Hearing - Conduct a Public Hearing and Consider a Request to Establish a Planned Development Zoning District with a Base Zoning of Central Business District "CBD" and to Adopt Development Regulations, Concept Plan, Building

Elevations, Architectural Plan, Open Space Plan, and Street Cross Sections for Approximately 12.28± Acres in the A. B. Perrin Survey, Abstract No. 713 and William Perrin Survey, Abstract No. 708; Generally Located at the Northeast Quadrant of U.S. Highway 75 and W. Main Street and Bounded by Anna Drive, Main Street, U.S. Highway 75, and the Southern Boundary of Block A and C of Whisenant Estates Addition. (ZN-113018-0042) [Allen City Center - Urban Residential and Office Uses]

6. Public Hearing - Conduct a Public Hearing and Consider a Request for a Replat for Stacy Green, Lot 5R-1, Block B, Being 0.883± Acres; Generally Located Directly South of Stacy Road and Approximately 489± Feet West of Chelsea Boulevard Right-of-Way. (PL-060719-0076) [Stacy Green]
7. Public Hearing - Conduct a Public Hearing and Consider a Request to Amend the Development Regulations of Planned Development PD No. 56 Shopping Center "SC" By Adding "Banquet Hall" as a Permitted Use and to Adopt a Concept Plan for Lot 1, Block A, Custer/McDermott Addition; Generally Located 623± Feet East of S. Custer Road and Directly South of W. McDermott Drive (and Commonly Known as 2021 W. McDermott Drive). (ZN-053119-0051) [McDermott Banquet Hall]

Executive Session (As needed)

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

Adjournment

This notice was posted at Allen City Hall, 305 Century Parkway, Allen, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Friday, July 12, 2019 at 5:00 p.m.

Shelley B. George, City Secretary

Allen City Hall is wheelchair accessible. Access to the building and special parking are available at the entrance facing Century Parkway. Requests for sign interpreters or special services must be received forty-eight (48) hours prior to the meeting time by calling the City Secretary at 214-509-4105.

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
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AGENDA DATE:

July 16, 2019

SUBJECT:

Action Taken on the Planning and Zoning Commission Items by City Council at the July 9, 2019, Regular Meeting.

STAFF RESOURCE:

Marc Kurbansade, AICP
Director of Community Development

BACKGROUND

- The request to conduct a public hearing and adopt an ordinance to establish a Planned Development zoning district with a base zoning of Community Facilities CF, for Church Eleven32, was approved.

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
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AGENDA DATE:

July 16, 2019

SUBJECT:

Approve Minutes from the July 2, 2019, Regular Meeting.

STAFF RESOURCE:

Hayley Angel, AICP Candidate
Planner II

ATTACHMENTS:

Minutes from the July 2, 2019, Regular Meeting

PLANNING AND ZONING COMMISSION

REGULAR MEETING

July 2, 2019

ATTENDANCE:

Commissioners Present:

Ben Trahan, Chair
Stephen Platt, Jr., 1st Vice-Chair
Michael Orr, 2nd Vice-Chair
Gene Autrey
Dan Metevier
Elias Shaikh

Commissioners Absent:

John Ogrizovich

City Staff Present:

Lee Battle, AICP, LEED AP, Assistant Director of Community Development
Brian Bristow, RLA, Assistant Director of Parks and Recreation
Hayley Angel, AICP Candidate, Planner

Call to Order and Announce a Quorum is Present:

With a quorum of the Commissioners present, Chair Trahan called the meeting to order at 7:00 p.m. in the City Hall Council Chambers Room at Allen City Hall, 305 Century Parkway, Allen, Texas, 75013.

Director's Report

1. Mr. Battle discussed the action taken on the Planning & Zoning Commission items by City Council at the June 25, 2019 meeting.

Consent Agenda (*Routine P&Z business: Consent Agenda is approved by a single majority vote. Items may be removed for open discussion by a request from a Commission member or member of staff.*)

2. Approve Minutes from the June 18, 2019, Planning and Zoning Commission Regular Meeting.

Motion: **Upon a motion by 1st Vice-Chair Platt, and a second by Commissioner Metevier, the Commission voted 6 IN FAVOR and 0 OPPOSED to approve the Consent Agenda as presented. The motion carried.**

Regular Agenda

3. Preliminary Plat – Consider a Request for a Preliminary Plat for The Villas at Chaparral, Being 4.88± Acres Located in the McBain Jamison Survey, Abstract No. 491; Generally Located at the Northwestern Corner of the Intersection of S. Jupiter Road and Chaparral Road. (Pre-PL-052419-0014) [Villas at Chaparral]

Ms. Angel, Planner, presented the item to the Commission.

Ms. Angel noted that staff is in support of the agenda item.

Motion: **Upon a motion by 2nd Vice-Chair Orr, and a second by Commissioner Autrey, the Commission voted 6 IN FAVOR and 0 OPPOSED to approve the Preliminary Plat for The Villas at Chaparral, as presented.**

Executive Session (*As Needed*)

The Executive Session was not held.

Adjournment

The meeting adjourned at 7:04 p.m.

These minutes approved this _____ day of _____ 2019.

Ben Trahan, Chair

Hayley Angel, AICP Candidate

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
--

AGENDA DATE:	July 16, 2019
SUBJECT:	Consider a Request for a Final Plat for Ridgeview Crossing Phase IIA, Being 13.172± Acres Located in the Francis Dasser Survey, Abstract No. 280 and the George Phillips Survey, Abstract No. 701; Generally Located at the Southwestern Corner of the Intersection of Ridgeview Drive and Chelsea Boulevard. (PL-030819-0068) [Ridgeview Crossing Phase IIA]
STAFF RESOURCE:	Hayley Angel, AICP Candidate Planner II
PREVIOUS COMMISSION/COUNCIL ACTION:	Alternative Screening Request - Approved June, 2016 General Development Plan - Approved July, 2016 Planned Development No. 130 - Approved June, 2017 Preliminary Plat - Approved September, 2017 Planned Development No. 130 - Amended January, 2018
LEGAL NOTICES:	None.
ANTICIPATED COUNCIL DATE:	None.

BACKGROUND

The property is generally located at the southwestern corner of the intersection of Ridgeview Drive and Chelsea Boulevard. The property to the north, across Ridgeview Drive, is zoned Planned Development PD No. 92 Corridor Commercial CC. The property to the east, across Chelsea Boulevard, is zoned Agricultural Open Space AO. The properties to the south are zoned Planned Development PD No. 130 Single-Family Residential R-6. The properties to the west, across Hilliard Drive, is zoned Planned Development PD No. 130 Single-Family Residential R-5.

The property is zoned Planned Development PD No. 130 Single-Family Residential R-6. A Planned Development was approved by City Council in June 2017, and a Planned Development Amendment addressing the elevations was approved by City Council in January 2018. A Preliminary Plat was approved in September 2017. The Final Plat is the last step in the development process.

The Preliminary Plat showed two phases of development. The subject Final Plat is for a portion of Phase 2, and shows 13.172± acres of land subdivided into 54 residential lots and three Open Space/HOA lots.

There are two points of access into this portion of the development--one on Hillard Drive and one on Bainbridge Drive.

The Final Plat has been reviewed by the Technical Review Committee, is generally consistent with the Concept Plan and the Preliminary Plat, and meets the requirements of the Allen Land Development Code.

STAFF RECOMMENDATION

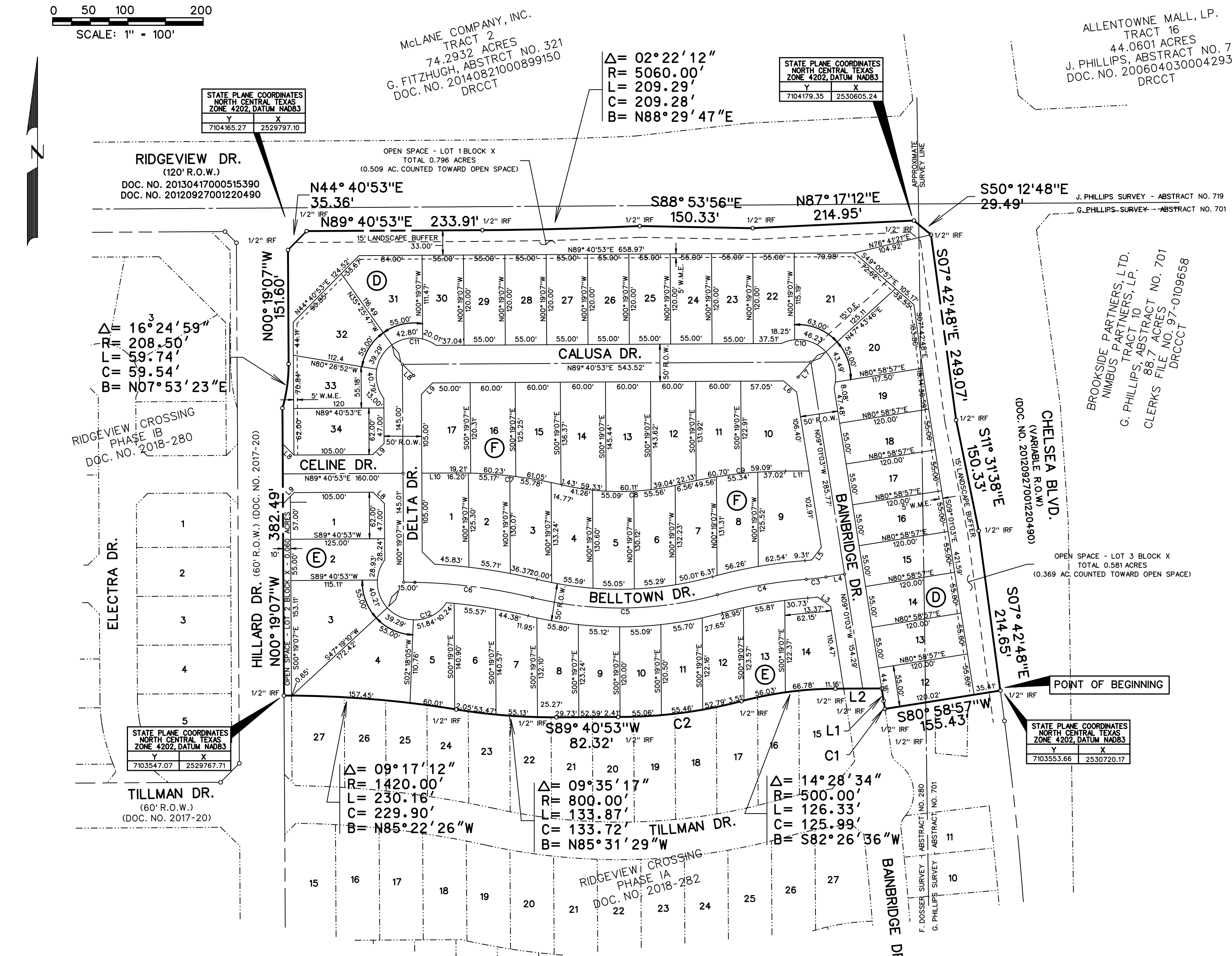
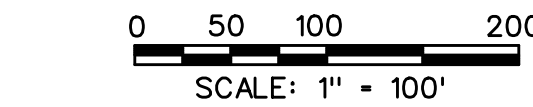
Staff recommends approval.

MOTION

I move to approve the Final Plat for Ridgeview Crossing Phase IIA, as presented.

ATTACHMENTS:

Final Plat

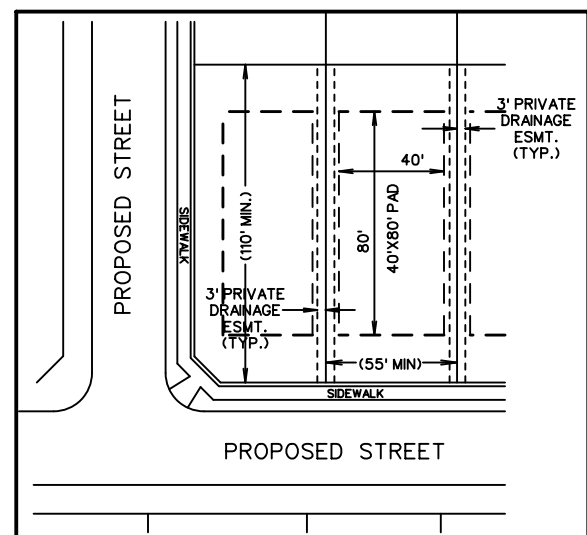


CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	00°09'50"	3790.00'	10.84'	10.84'	N08°56'08"W
2.	14°57'08"	635.00'	165.71'	165.24'	S82°40'53"W
3.	04°38'41"	325.00'	26.35'	26.34'	S83°18'18"W
4.	11°01'43"	625.00'	120.30'	120.12'	S80°06'47"W
5.	29°04'18"	490.00'	248.62'	245.96'	S89°08'04"W
6.	13°41'16"	725.00'	173.20'	172.79'	N83°10'25"W
7.	13°33'08"	600.00'	141.92'	141.59'	S83°32'33"E
8.	27°06'16"	335.00'	158.48'	157.00'	N89°40'53"E
9.	13°33'08"	600.00'	141.92'	141.59'	N82°54'19"E
10.	132°59'06"	50.00'	116.05'	91.70'	S49°40'05"E
11.	164°44'23"	50.00'	142.89'	98.99'	N44°40'53"E
12.	176°20'35"	50.00'	160.27'	99.95'	S55°19'38"E

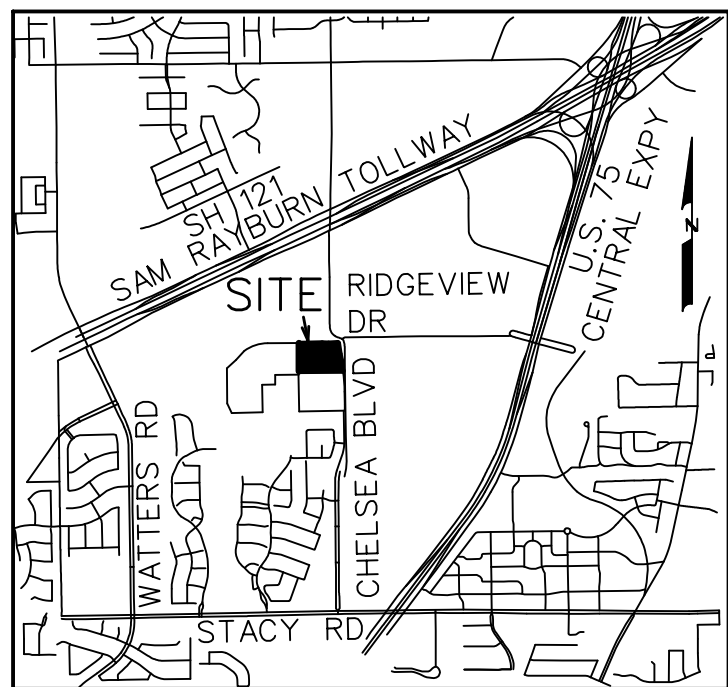
LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	N 09°01'03" W	16.72'
2.	S 89°40'53" W	51.75'
3.	S 53°24'35" E	21.44'
4.	S 80°58'57" W	25.00'
5.	S 36°42'50" W	20.95'
6.	S 49°40'05" E	42.78'
7.	S 40°19'55" W	26.36'
8.	S 45°19'07" E	21.21'
9.	N 44°40'53" E	21.21'
10.	N 89°40'53" E	45.80'
11.	N 89°40'53" E	31.41'



NOTES:

- Bearings are referenced to Ridgeview Crossing Phase IA an addition to the City of Allen, as described in Doc. No. 2018-282 in the Plat Records of Collin County, Texas.
- 1/2" iron rods with "CORWIN ENGR. INC." set at all boundary corners, block corners, points of curvature, points of tangency, and angle points in public right-of-way unless otherwise noted
- B.L. - Building Line.
IRF - Iron Rod Found
U.E. - Utility Easement
W.M.E. - Wall Maintenance Easement
D.E. - Drainage Easement
- State Plane Coordinates tied to North Central Texas, Zone 5351.
- Trash carts must be placed in the street for Lots 19,20,21,22,30,31,32 & 33 Block D Lots 3 & 4 Block E.



VICINITY MAP
N. T. S.

LEGAL DESCRIPTION

WHEREAS, RIDGEVIEW DEVELOPMENT, LLC., is the owner of a tract of land situated in the Francis Dasser Survey, Abstract No. 280 and the G. Phillips Survey, Abstract No. 701 in the City of Allen, Collin County, Texas, being part of a 93.557 acre tract, as described in Doc. No. 98-0114031 and Doc. No. 98-0114030 in the Deed Records of Collin County, Texas, being more particularly described as follows:

BEGINNING, at a 1/2 inch iron rod found at the most easterly southeast corner of Ridgeview Crossing Phase IA, an addition to the City of Allen, as described in Doc. No. 2018-282 in the Plat Records of Collin County, Texas and being in the west line of Chelsea Boulevard (Variable R.O.W.);

THENCE, South 80°58'57" West, along the north line of said Ridgeview Crossing Phase IA, for a distance of 155.43 feet, to a 1/2 inch iron rod found on a curve to the left, having a radius of 3790.00 feet, a central angle of 00°09'50";

THENCE, continuing along said north line and with curve to the left for an arc distance of 10.84 feet (Chord Bearing North 08°56'08" West 10.84 feet), to a 1/2 inch iron rod found at the point of tangency;

THENCE, North 09°01'03" West, continuing along said north line for a distance of 16.72 feet, to a 1/2 inch iron rod found;

THENCE, South 89°40'53" West, continuing along said north line, for a distance of 61.75 feet, to a 1/2 inch iron rod found at the point of curvature of a curve to the left, having a radius of 500.00 feet, a central angle of 14°28'34";

THENCE, continuing along said north line and with said curve to the left for an arc distance of 126.33 feet (Chord Bearing South 82°26'36" West 125.99 feet), to a 1/2 inch iron rod found at the point of reverse curvature of a curve to the right, having a radius of 635.00 feet, a central angle of 14°57'08";

THENCE, continuing along said north line and with said curve to the right for an arc distance of 165.71 feet (Chord Bearing South 82°40'53" West 165.24 feet), to a 1/2 inch iron rod found at the point of tangency;

THENCE, South 89°40'53" West, continuing along said north line, for a distance of 82.32 feet, to a 1/2 inch iron rod found at the point of curvature of a curve to the right, having a radius of 800.00 feet, a central angle of 09°35'17";

THENCE, continuing along said north line and with curve to the right for an arc distance of 133.87 feet (Chord Bearing North 85°31'29" West 133.72 feet), to a 1/2 inch iron rod found at the point of reverse curvature of a curve to the left, having a radius of 1420.00 feet, a central angle of 09°17'12";

THENCE, continuing along said north line and with said curve to the left for an arc distance of 230.16 feet (Chord Bearing North 85°22'26" West 229.90 feet), to a 1/2 inch iron rod found at the northwest corner of said Ridgeview Crossing Phase IA and being in the east line of Hillard Drive (60' R.O.W.), as described in Doc. No. 2017-20 in said Plat Records;

THENCE, North 00°19'07" West, along the east line of said Hillard Drive, for a distance of 382.49 feet, to a 1/2 inch iron rod found at the southerly corner of a Public Street R.O.W., as described in Clerks File No. 20180305000265580 in said Deed Records, being on a curve to the left, having a radius of 208.50 feet, a central angle of 16°24'59";

THENCE, along the east line of said Public Street R.O.W. and with said curve to the left for an arc distance of 59.74 feet (Chord Bearing North 07°53'23" East 59.54 feet), to a 1/2 inch iron rod at the point of tangency;

THENCE, North 00°19'07" West, continuing along said east line, for a distance of 151.60 feet, to a 1/2 inch iron rod found;

THENCE, North 44°40'53" East, continuing along said east line, for a distance of 35.36 feet, to a 1/2 inch iron rod found at the northeast corner of said Public Street R.O.W. and being in the north line of said 93.557 acre tract same being the south line of Ridgeview Drive (120' R.O.W.);

THENCE, North 89°40'53" East, along the north line of said 93.557 acre tract and the south line of Ridgeview Drive, for a distance of 233.91 feet, to a 1/2 inch iron rod found at the point of curvature of a curve to the left, having a radius of 5060.00 feet, a central angle of 02°22'12";

THENCE, continuing along said north and south lines and with said curve to the left for an arc distance of 209.29 feet (Chord Bearing North 88°29'47" East 209.28 feet), to a 1/2 inch iron rod found;

THENCE, South 88°53'56" East, continuing along said lines, for a distance of 150.33 feet, to a 1/2 inch iron rod found;

THENCE, North 87°17'12" East, continuing along said lines, for a distance of 214.95 feet, to a 1/2 inch iron rod found;

THENCE, South 50°12'48" East, departing the south line of said Ridgeview Drive and with the north line of said 93.557 acre tract, for a distance of 29.49 feet, to a 1/2 inch iron rod found in the west line of said Chelsea Boulevard and being the most easterly northeast corner of said 93.557 acre tract;

THENCE, South 07°42'48" East, along the east line of said 93.557 acre tract and the west line of said Chelsea Boulevard, for a distance of 249.07 feet, to a 1/2 inch iron rod found;

THENCE, South 11°31'38" East, continuing along said lines, for a distance of 150.33 feet, to a 1/2 inch iron rod found;

THENCE, South 07°42'48" East, continuing along said lines, for a distance of 214.65 feet, to the POINT OF BEGINNING and containing 13.172 acres of land.

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS that I, WARREN L. CORWIN, do hereby certify that I prepared this Final Plat and the field notes from an actual and accurate survey of the land, that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision Regulations of the City of Allen, Texas.

THE STATE OF TEXAS
COUNTY OF COLLIN

WARREN L. CORWIN
R.P.L.S. No. 4621

Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared WARREN L. CORWIN, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2019.

NOTARY PUBLIC, STATE OF TEXAS

DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That RIDGEVIEW DEVELOPMENT, LLC., through the undersigned authority, does hereby adopt this Final Plat designating the described property as "RIDGEVIEW CROSSING PHASE IIA", an addition to the City of Allen, Texas, and does hereby dedicate to the public use forever the streets and alleys thereon and does hereby dedicate the easement strips shown on the plat for mutual use and accommodation of all public utilities desiring to use, or using same. No buildings, fences, trees, shrubs or other improvements shall be constructed or placed upon, over or across the easement strips on said plat. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements, or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on any of these easement strips, and any public utility shall at all times have the right of ingress and egress to and from and upon any of said easement strips for the purpose of construction, reconstruction, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone.

This plat is approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Allen, Texas.

Witness my hand this _____ day of _____, 2019.

RIDGEVIEW DEVELOPMENT, LLC.
a Delaware limited liability company
dba Ridgeview Homes, LLC.

by: Lisa Cavell, Senior Executive

THE STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned, a Notary Public for the State of Texas, on this day personally appeared LISA CAVELL, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that the same is his act and deed in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2019.

NOTARY PUBLIC, STATE OF TEXAS

Approved

Attest

Chairperson
Planning and Zoning Commission

Secretary
Planning and Zoning Commission

Executed Pro-forma

Mayor

Date

The undersigned, the City Secretary of the City of Allen, Texas hereby certifies that the foregoing Final plat of RIDGEVIEW CROSSING PHASE IIA, an addition to the City of Allen was submitted to the Planning and Zoning Commission and approved by it on the _____ day of _____, 2019.

City Secretary
City of Allen

FINAL PLAT
OF
RIDGEVIEW CROSSING
PHASE IIA

54 TOTAL RESIDENTIAL LOTS
3 OPEN SPACE LOTS (1.436 ACRES)
13.172 TOTAL ACRES
2.358 TOTAL R.O.W. ACRES

OUT OF THE
F. DASSER SURVEY, ABSTRACT NO. 280
G. PHILLIPS SURVEY, ABSTRACT NO. 701

IN THE
CITY OF ALLEN
COLLIN COUNTY, TEXAS
OWNER
LISA CAVELL, SENIOR EXECUTIVE
RIDGEVIEW DEVELOPMENT, LLC.

PREPARED BY
CORWIN ENGINEERING, INC.
TBPLS FIRM #10037100

200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

MARCH 2019 SCALE: 1"=100'

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
--

AGENDA DATE:	July 16, 2019
SUBJECT:	Consider a Request for a Final Plat for Ridgeview Crossing Phase IIB, Being 26.170± Acres Located in the Francis Dasser Survey, Abstract No. 280; Generally Located Directly South of Ridgeview Drive and Approximately 1,202± Feet West of Chelsea Boulevard. (PL-030819-0067) [Ridgeview Crossing Phase IIB]
STAFF RESOURCE:	Hayley Angel, AICP Candidate Planner II
PREVIOUS COMMISSION/COUNCIL ACTION:	Alternative Screening Request - Approved June, 2016 General Development Plan - Approved July, 2016 Planned Development No. 130 - Approved June, 2017 Preliminary Plat - Approved September, 2017 Planned Development No. 130 - Amended January, 2018
LEGAL NOTICES:	None.
ANTICIPATED COUNCIL DATE:	None.

BACKGROUND

The property is generally located at the south of Ridgeview Drive and approximately 1,202± feet west of Chelsea Boulevard. The property to the north, across Ridgeview Drive, is zoned Planned Development PD No. 92 Corridor Commercial CC. The properties to the east are zoned Planned Development PD No. 130 Single-Family Residential R-5 and Agricultural Open Space AO. The properties to the south are zoned Planned Development PD No. 92 Single-Family Residential R-5. The properties to the west are zoned Planned Development PD No. 92 Single-Family Residential R-3 and Community Facilities CF.

The property is zoned Planned Development PD No. 130 Single-Family Residential R-5. A Planned Development was approved by City Council in June 2017, and a Planned Development Amendment addressing the elevations was approved by City Council in January 2018. A Preliminary Plat was approved in September 2017. The Final Plat is the last step in the development process.

The Preliminary Plat showed two phases of development. The subject Final Plat is for a portion of Phase 2, and shows 26.170± acres of land subdivided into 74 residential lots and five Open Space/HOA lots.

There are two points of access into this portion of the development--one on Tillman Drive and one on Panorama Drive.

The Final Plat has been reviewed by the Technical Review Committee, is generally consistent with the Concept

Plan and the Preliminary Plat, and meets the requirements of the Allen Land Development Code.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I move to approve the Final Plat for Ridgeview Crossing Phase IIB, as presented.

ATTACHMENTS:

Final Plat

0 50 100 200
SCALE: 1" = 100'

McLANE COMPANY, INC.
TRACT 2
74.2932 ACRES
G. FITZHUGH, ABSTRACT NO. 321
DOC. NO. 20140821000899150
DRCCCT

$\Delta = 35^{\circ}24'33''$
 $R = 940.00'$
 $T = 300.08'$
 $L = 580.93'$
 $C = 571.73'$
 $B = N71^{\circ}58'36''E$

RIDGEVIEW DR.
(120' R.O.W.)
DOC. NO. 20130417000515390
DOC. NO. 20120927001220490

STATE PLANE COORDINATES
NORTH CENTRAL TEXAS
ZONE 4202, DATUM NAD83
Y 7304163.10 X 2528407.84

POINT OF BEGINNING

CITY OF ALLEN
TRACT 2-1
6.055 ACRES
DOC. NO. 20120927001220490
DRCCCT

LIMITS OF 100 YEAR FLOOD PLAIN
AS DEPICTED ON FEDERAL EMERGENCY
MANAGEMENT AGENCY FLOOD INSURANCE
RATE MAP 48085C0270J, EFFECTIVE
JUNE 2, 2009, REVISED BY LETTER OF MAP
REVISION CASE #13-06-4603P, EFFECTIVE
NOVEMBER 7, 2014.

STATE PLANE COORDINATES
NORTH CENTRAL TEXAS
ZONE 4202, DATUM NAD83
Y 7303582.92 X 2528035.74

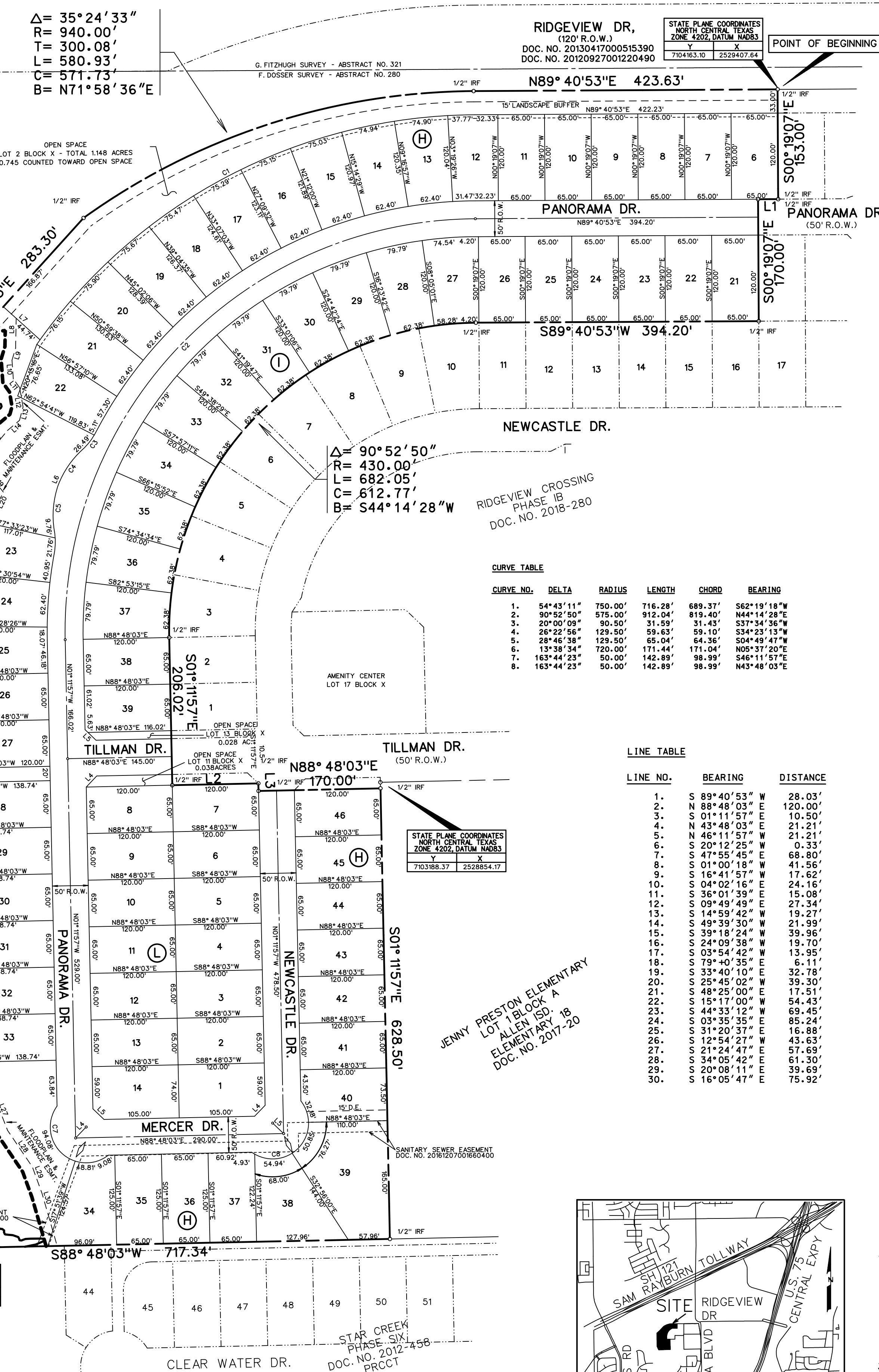
CITY OF ALLEN
LOT 3 BLOCK C
DOC. NO. 20120927001220490
DRCCCT

100-YEAR FULLY
DEVELOPED FLOOD PLAN
PER DRAINAGE STUDY BY
CORWIN ENGINEERING, INC.
DATED 8/21/17 AND
APPROVED ON 8/25/17

STAR CREEK
PHASE TWO
DOC. NO. 2007-250
PRCCT

CITY OF ALLEN
0.25 ACRE TRACT
DOC. NO. 20120927001220490
DRCCCT

STATE PLANE COORDINATES
NORTH CENTRAL TEXAS
ZONE 4202, DATUM NAD83
Y 7302544.99 X 2528150.13



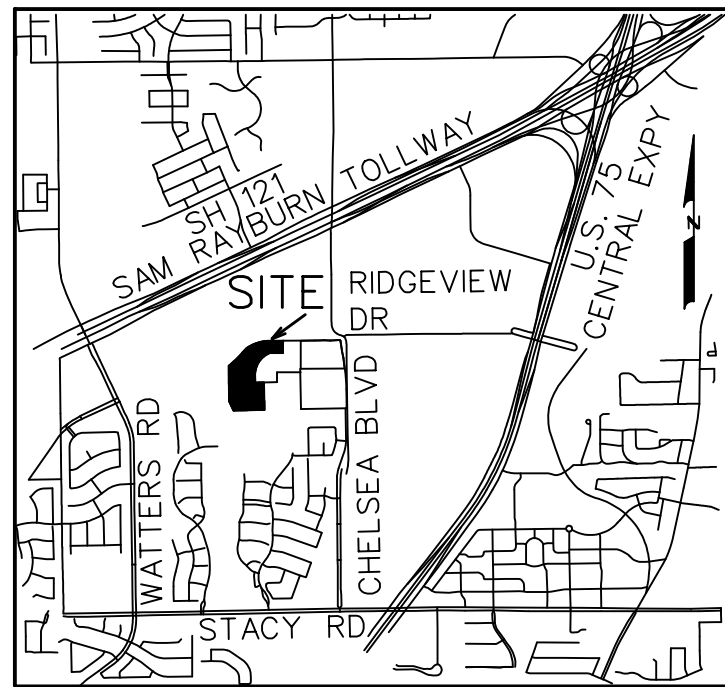
CURVE TABLE

CURVE NO.	DELTA	RADIUS	LENGTH	CHORD	BEARING
1.	54°43'11"	750.00'	716.28'	689.37'	S62°19'18"W
2.	90°52'50"	575.00'	912.04'	819.40'	N44°14'28"E
3.	20°00'09"	90.50'	31.59'	31.43'	S37°34'36"W
4.	28°22'56"	129.50'	59.63'	59.10'	S34°25'13"W
5.	28°46'38"	129.50'	65.04'	64.36'	S04°49'47"W
6.	13°38'34"	720.00'	171.44'	171.04'	N05°37'20"E
7.	163°44'23"	50.00'	142.89'	98.99'	S48°11'51"E
8.	163°44'23"	50.00'	142.89'	98.99'	N43°48'03"E

LINE TABLE

LINE NO.	BEARING	DISTANCE
1.	S 89°40'53" W	28.03'
2.	N 88°48'03" E	120.00'
3.	S 01°11'57" W	10.50'
4.	N 43°48'03" E	21.21'
5.	N 46°11'57" E	21.21'
6.	S 20°12'25" W	0.33'
7.	S 47°55'45" E	68.80'
8.	S 01°00'18" E	41.56'
9.	S 16°41'57" W	17.62'
10.	S 04°02'16" E	24.16'
11.	S 36°01'39" E	15.08'
12.	S 09°49'49" E	27.34'
13.	S 14°59'42" E	19.97'
14.	S 49°39'30" E	21.89'
15.	S 39°18'24" E	39.96'
16.	S 24°09'38" W	19.70'
17.	S 03°54'42" E	13.95'
18.	S 79°40'35" E	6.11'
19.	S 33°40'10" E	32.78'
20.	S 25°45'02" E	39.30'
21.	S 48°25'00" E	17.51'
22.	S 15°17'00" E	54.43'
23.	S 44°33'12" E	69.45'
24.	S 03°35'35" E	85.24'
25.	S 11°20'37" E	16.88'
26.	S 12°54'27" E	43.63'
27.	S 21°24'47" E	57.69'
28.	S 31°42'42" E	61.30'
29.	S 20°08'11" E	39.69'
30.	S 16°05'47" E	75.92'

JENNY PRESTON ELEMENTARY
LOT 1 BLOCK A
ALLEN ISD.
ELEMENTARY 18
DOC. NO. 2017-20



VICINITY MAP
N.T.S.

LEGAL DESCRIPTION

WHEREAS, RIDGEVIEW DEVELOPMENT, LLC., is the owner of a tract of land situated in the Francis Dasser Survey, Abstract No. 280 in the City of Allen, Collin County, Texas, being part of a 93.557 acre tract, as described in Doc. No. 98-0114031and Doc. No. 98-0114030 in the Deed Records of Collin County, Texas, being more particularly described as follows:

BEGINNING, at d/2inch iron rod found at the most northerly northwest corner of Ridgeview Crossing Phase IB, an addition to the City of Allen, as described in Doc. No. 2018-280 in the Plat Records of Collin County, Texas and being in the south line of Ridgeview Drive (120' R.O.W.);

THENCE, South 00°19'07" East, along the west line of said Ridgeview Crossing Phase IB, for a distance of 153.00 feet, to d/2inch iron rod found;

THENCE, South 89°40'53" West, continuing along said west line, for a distance of 28.03 feet, to d/2inch iron rod found;

THENCE, South 00°19'07" East, continuing along said west line, for a distance of 170.00 feet, to d/2inch iron rod found;

THENCE, South 89°40'53" West, continuing along said west line, for a distance of 394.20 feet, to d/2inch iron rod found at the point of reverse of a curve to the left, having a radius of 430.00 feet, a central angle of 90°52'50";

THENCE, continuing along said west line and with said curve to the left for an arc distance of 682.05 feet (Chord Bearing South 44°14'28" West 612.77 feet), to d/2inch iron rod found at the point of tangency;

THENCE, South 01°11'57" East, continuing along said west line, for a distance of 191.02 feet, to d/2inch iron rod found at the most westerly southwest corner of said Ridgeview Crossing Phase IB;

THENCE, North 88°48'03" East, along the south line of said Ridgeview Crossing Phase IB, for a distance of 105.00 feet, to d/2inch iron rod found;

THENCE, South 46°11'57" East, continuing along said south line, for a distance of 21.21 feet, to d/2inch iron rod found;

THENCE, South 01°11'57" East, continuing along said south line, for a distance of 10.50 feet, to d/2inch iron rod found;

THENCE, North 88°48'03" East, continuing along said south line, for a distance of 170.00 feet, to d/2inch iron rod set with a yellow cap stamped "Corwin Eng. Inc.", in the west line Jenny Preston Elementary Lot 1 Block A, an addition to City of Allen, as described in Doc. No. 2017-20 in said Plat Records;

THENCE, South 01°11'57" East, departing said south line and along the west line of said Jenny Preston Elementary Lot 1 Block A, for a distance of 628.50 feet, to d/2inch iron rod found at the southwest corner of said Jenny Preston Elementary Lot 1 Block A and being in the north line of Star Creek Phase Six, an addition to the City of Allen, as described in Doc. No. 2012-458 in said Plat Records;

THENCE, South 88°48'03" West, along the north line of said Star Creek Phase Six, at 678.98 feet, passing d/2inch iron rod found at the northwest corner of said Star Creek Phase Six and continuing for a total distance of 717.34 feet, to d/2inch iron rod found at the southwest corner of said 93.557 acre tract;

THENCE, North 25°18'27" West, along the west line of said 93.557 acre tract, for a distance of 241.02 feet, to d/2inch iron rod found;

THENCE, North 00°47'40" West, continuing along said west line, for a distance of 819.72 feet, to d/2inch iron rod found at the northwest corner of said 93.557 acre tract;

THENCE, North 48°20'57" East, along the north line of said 93.557 acre tract, for a distance of 287.45 feet, to d/2inch iron rod found;

THENCE, 42°04'15" East, continuing along said north line, for a distance of 283.30 feet, to a 1/2inch iron rod found on a curve to the right, having a radius of 940.00 feet, a central angle of 35°24'33";

THENCE, continuing along said north line and with said curve to the right for an arc distance of 580.93 feet (Chord Bearing North 71°58'36" East 571.73 feet), to d/2inch iron rod found at the point of tangency;

THENCE, North 89°40'53" East, continuing along said north line, for a distance of 423.63 feet, to the POINT OF BEGINNING and containing 26.170 acres of land.

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS that I, WARREN L. CORWIN, do hereby certify that I prepared this Final Plat and the field notes from an actual and accurate survey of the land, that the corner monuments shown thereon were properly placed under my personal supervision in accordance with the subdivision Regulations of the City of Allen, Texas.

WARREN L. CORWIN
R.P.L.S. No. 4621

THE STATE OF TEXAS
COUNTY OF COLLIN

Before me, the undersigned, a Notary Public in and for the State of Texas, on this day personally appeared WARREN L. CORWIN, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed same for the purpose and consideration therein expressed.

Given under my hand and seal of office, this _____ day of _____, 2019.

NOTARY PUBLIC, STATE OF TEXAS

DEDICATION

KNOW ALL MEN BY THESE PRESENTS:

That RIDGEVIEW DEVELOPMENT, LLC., through the undersigned authority, does hereby adopt this Final Plat designating the described property as "RIDGEVIEW CROSSING PHASE IIB", an addition to the City of Allen, Texas, and does hereby dedicate to the public use forever the streets and alleys thereon; and does hereby dedicate the easement strips shown on the plat for mutual use and accommodation of all public utilities desiring to use, or using same. No buildings, fences, trees, shrubs or other improvements shall be constructed or placed upon, over or across the easement strips on said plat. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements, or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on any of these easement strips, and any public utility shall at all times have the right of ingress and egress to and from and upon any of said easement strips for the purpose of construction, reconstruction, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone.

This plat is approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Allen, Texas.

Witness my hand this _____ day of _____, 2019.

RIDGEVIEW DEVELOPMENT, LLC.
a Delaware limited liability company
dba Ridgeview Homes, LLC.

by: Lisa Cavell, Senior Executive

THE STATE OF TEXAS
COUNTY OF COLLIN

BEFORE ME, the undersigned, a Notary Public for the State of Texas, on this day personally appeared LISA CAVELL, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that the same is his act and deed in the capacity therein stated and for the purposes and considerations therein expressed.

WITNESS MY HAND AND SEAL OF OFFICE, this the _____ day of _____, 2019.

NOTARY PUBLIC, STATE OF TEXAS

Approved

Attest

Chairperson
Planning and Zoning Commission

Secretary
Planning and Zoning Commission

Executed Pro-forma

Mayor

Date

The undersigned, the City Secretary of the City of Allen, Texas hereby certifies that the foregoing Final plat of RIDGEVIEW CROSSING PHASE IIB, an addition to the City of Allen was submitted to the Planning and Zoning Commission and approved by it on the _____ day of _____, 2019.

City Secretary
City of Allen

FINAL PLAT OF RIDGEVIEW CROSSING PHASE IIB

74 TOTAL RESIDENTIAL LOTS
5 OPEN SPACE LOTS (8.521 ACRES)
26.170 TOTAL ACRES
3.406 TOTAL R.O.W. ACRES

OUT OF THE
F. DASSER SURVEY, ABSTRACT NO. 280

IN THE
CITY OF ALLEN
COLLIN COUNTY, TEXAS
OWNER

LISA CAVELL, SENIOR EXECUTIVE
RIDGEVIEW DEVELOPMENT, LLC.

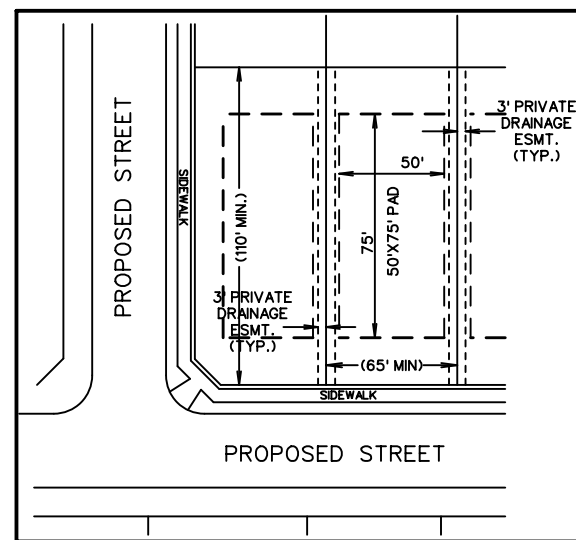
1110 12th AVE. NE, SUITE 202
BELLEVUE, WA 98004

PREPARED BY
CORWIN ENGINEERING, INC.
TBPLS FIRM #10031700

200 W. BELMONT, SUITE E
ALLEN, TEXAS 75013
972-396-1200

MARCH 2019

SCALE: 1"=100'



TYPICAL DETAIL FOR SF-5 LOTS

MIN. 7,500 SF
TYP. LOT 50'X10'
PHASE IIB
BLOCKS H, I, L

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION

AGENDA DATE:

July 16, 2019

SUBJECT:

Public Hearing - Conduct a Public Hearing and Consider a Request to Establish a Planned Development Zoning District with a Base Zoning of Central Business District "CBD" and to Adopt Development Regulations, Concept Plan, Building Elevations, Architectural Plan, Open Space Plan, and Street Cross Sections for Approximately 12.28± Acres in the A. B. Perrin Survey, Abstract No. 713 and William Perrin Survey, Abstract No. 708; Generally Located at the Northeast Quadrant of U.S. Highway 75 and W. Main Street and Bounded by Anna Drive, Main Street, U.S. Highway 75, and the Southern Boundary of Block A and C of Whisenant Estates Addition. (ZN-113018-0042) [Allen City Center - Urban Residential and Office Uses]

STAFF RESOURCE:

Marc Kurbansade, AICP
Director for Community Development

LEGAL NOTICES:

Public Hearing Sign - Installed June 7, 2019
Public Hearing Letters - Mailed June 7, 2019

ANTICIPATED COUNCIL DATE:

August 13, 2019

BACKGROUND

The subject property is generally located at the northeast quadrant of U.S. Highway 75 and W. Main Street and bounded by Anna Drive, Main Street, U.S. Hwy 75, and the southern boundary of Blocks A and C of Whisenant Estates Addition. As depicted on the Concept Plan, there are three properties within this generally boundary that are not included in this request. The properties to the north are zoned Single Family Residential R-5. The properties to the east are zoned Central Business District CBD. The properties to the south are zoned Shopping Center SC and Central Business District CBD. The properties to the west across U.S. Highway 75 are zoned Planned Development No. 54 Corridor Commercial CC.

The subject property is currently zoned Central Business District CBD. A Design Plan was approved in December 2018 by the Central Business District Design Review Committee. The proposed Planned Development would permit a mix of uses consistent with the Central Business District, but consist primarily of Office and Urban Residential uses. The subject property is 12.28± acres, proposed to be developed in four phases with the initial phase occurring in the northwest quadrant of the site. The Concept Plan shows the phases of the proposed development as follows:

- Phase 1 - 255 urban residential units within a single 4 story building with an integrated 5-level structured parking garage. The northern building façade on the eastern portion of the building will be 3 stories and transition to 4 stories.

- Phase 2 - 171 urban residential units located in a 4 story building with an integrated 4-level parking structure.
- Phase 3 - 196 urban residential units located in a 5 story building with an integrated 8-level parking structure to serve the urban residential units and the adjoining five-story office building.
- Phase 4 - 228 urban residential units located in a 5 story building with an integrated 5-level parking structure.

Parking will be provided at a rate of 1.1 spaces per bedroom with 0.1 spaces reserved for guest parking. Based on the mix of dwelling units this will equate to approximately 1.3 spaces per dwelling unit. Parking for the proposed office use will be provided at a rate of one space per 300 square feet of gross floor area. Vehicular access within and to the project will largely be through existing thoroughfares, with the addition of a privately maintained fire lane/alley to be constructed along the northern boundary of the project. The existing thoroughfares will be improved to meet current standards, with the phasing of these improvements being commensurate with the demand resulting from subsequent development phases of the project. Pedestrian accessibility will include a 12-foot hike and bike trail along the north side of Main Street and west side of Anna Drive. The U.S. Highway 75 frontage will include a 10-ft sidewalk from Main Street to the northern limits of the project. All other internal sidewalks will be a minimum of 6-feet in width.

The transition from the adjacent Whisenant subdivision to the north will be through two primary approaches. First the applicant will coordinate with property owners to the north to determine if a wall or drive access is requested. Based on this coordination, a wall may be constructed at this location. Second, the applicant is proposing a gradual decrease in building height and density by including a two-story townhouse product farthest to the north, with the proposed four-story urban residential units being set back approximately 100 feet from the south property line of the Whisenant subdivision.

Open Space within the proposed development will consist primarily of a 0.54± acre public park dedication located north of the Phase 2 building, spanning from Bonham Drive to Anna Drive. This will be in addition to the aforementioned Hike & Bike Trails to be located within the development.

The architectural elevations depict an architectural style that was previously approved by the CBD Design Review Committee. The portions of these elevations visible from public view will be a minimum of 85% masonry materials and a maximum of 15% of secondary building materials (e.g., cementitious panels/siding, flat non-corrugated metal panels or exterior grade high pressure laminate panels). Where the exterior facades are not visible from public view, such as interior courtyards, the secondary building materials may be incorporated up to a maximum of 50% of the façade exterior.

Retail-ready space will be constructed at the locations identified in the Architectural Plan. These spaces will be constructed with 14-foot ceiling heights in accordance with Urban Residential standards. Other ground-floor spaces not identified will be constructed with standard ceiling heights as these areas are less conducive to the long-term development of non-residential uses. Sign regulations will primarily adhere to current ALDC standards. However, there are several signs that were incorporated into the development regulations that are representative of a pedestrian-oriented urban environment. A-Frame/Sandwich Signs; Hanging/Projecting Signs, and Blade Signs. Visual representations of these signs are included in the Development Regulations.

The request has been reviewed by the Technical Review Committee. This item was previously recommended for denial by Planning and Zoning Commission on May 7, 2019. On May 28, 2019, City Council remanded this item back to Planning and Zoning Commission to allow the Commission to re-consider the item due to a significant design change. At the June 18, 2019 Planning and Zoning Commission meeting, the applicant requested a continuation of the public hearing to alter the plans.

STAFF RECOMMENDATION

Staff recommends approval.

MOTION

I move to recommend approval of an ordinance establishing a Planned Development zoning district with a base zoning of Central Business District "CBD" for 12.28± acres in the A. B. Perrin Survey, Abstract No. 713 and William Perrin Survey, Abstract No. 708, subject to the Development Regulations, Concept Plan, Building Elevations, Architectural Plan, Open Space Plan, and Street Cross Sections as presented.

ATTACHMENTS:

Property Notification Map

Development Regulations

Concept Plan

Open Space Plan

Street Cross Sections


Building Concepts

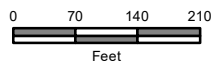


Property Ownership Notification

Allen City Center

Map Legend

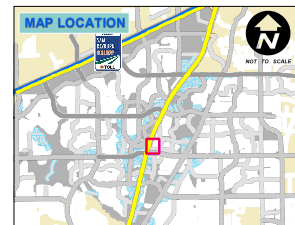
-  Public Hearing Property
-  200' Buffer
-  Railroad
-  CollinCAD Parcels



Community Development - Planning

Date Saved: 5/30/2019

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.



ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, AMENDING THE ALLEN LAND DEVELOPMENT CODE ZONING REGULATIONS AND ZONING MAP, AS PREVIOUSLY AMENDED, BY CHANGING THE ZONING REGULATIONS RELATING TO THE DEVELOPMENT AND USE OF 12.28± ACRES IN THE A. B. PERRIN SURVEY, ABSTRACT NO. 713 AND WILLIAM PERRIN SURVEY, ABSTRACT NO. 708 DESCRIBED IN EXHIBIT “A” HERETO FROM CENTRAL BUSINESS DISTRICT “CBD” TO PLANNED DEVELOPMENT NO. ____ (“PD-____”) FOR CENTRAL BUSINESS DISTRICT USES; ADOPTING DEVELOPMENT REGULATIONS, A CONCEPT PLAN, OPEN SPACE PLAN, AND BUILDING CONCEPTS ; PROVIDING FOR A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Allen, Texas, in compliance with the laws of the State of Texas and the ordinances of the City of Allen, Texas, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally and to all persons interested and situated in the affected area, and in the vicinity thereof, and in the exercise of its legislative discretion, have concluded that Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as previously amended, should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, THAT:

SECTION 1. The Allen Land Development Code Zoning Regulations and Zoning Map, of the City of Allen, Texas, as amended, is hereby further amended by changing the zoning regulations relating to the development and use of 12.28± acres in the A. B. Perrin Survey, Abstract No. 713 and William Perrin Survey, Abstract No. 708, City of Allen, Collin County, Texas, described in Exhibit “A” attached hereto and incorporated herein by reference (“The Property”) from Central Business District “CBD” to Planned Development No. ____ (“PD-____”) in accordance with and subject to Section 2 of this ordinance.

SECTION 2. The Property shall be developed and used in accordance with applicable provisions of the Allen Land Development Code, as amended (“ALDC”) and the zoning regulations applicable to the Central Business District “CBD” except to the extent modified by the Development Regulations set forth below:

A. CONCEPT PLAN: The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit “B,” and incorporated herein by reference (the “Concept Plan”). Provide that such modifications do not alter the general circulation of streets and alleys or general location of buildings as shown on the Concept Plan, minor modification of streetscapes to meet future City requirements and building configuration within each Block may be made at the time of Site Plan approval for each Block. For purpose of this ordinance, unless the context indicates otherwise, the reference to “Block” followed by a number shall refer to the corresponding area of the Property so designated on the Concept Plan.

B. ADDITIONAL PERMITTED USES:

(1) The Property may be developed and used for the following purposes in addition to those uses permitted in the CBD zoning district:

(a) Dance/martial arts studio;

- (b) Fitness and health center;
 - (c) Microbrewery;
 - (d) Retail store, provided such store is located only at street level and integrated into the building as shown on the Concept Plan;
 - (e) Convenience store;
 - (f) Day care facility;
 - (g) Museum/art gallery;
 - (h) Park (private); and
 - (i) Radio or TV broadcast studio.
- (2) Retail, restaurant, and microbrewery uses may provide outside dining and seating. Outside dining is permitted provided a minimum clear path of six feet in width is maintained in accordance with the Concept Plan.
- C. OPEN SPACE:** The Property shall be developed with open space as shown on the Concept Plan.
- D. SETBACKS:** The required minimum yard setbacks shall conform with the approved Street Cross Sections and as set forth on the Concept Plan.
- E. BUILDING CONCEPTS:** Buildings to be constructed on the Property shall be developed in general conformance with the materials and architectural intent set forth on the Building Concepts attached hereto as Exhibit "C," and incorporated herein by reference.
- F. MAXIMUM FAR:** The calculation of the maximum floor/area ratio relating to development of the Property shall exclude the floor area of structured parking constructed on the Property.
- G. MAXIMUM HEIGHT:**
- (a) The maximum height of any building constructed in Blocks 1 and 2 shall be four (4) stories (except the parking structure which may be 4-1/2 stories in height) but in no case exceeding sixty (60) feet.
 - (b) The maximum height of any building constructed in Blocks 3 and 4 shall be eighty-five (85) feet.
- H. MINIMUM AREA PER DWELLING UNIT:** The floor area of any Urban Residential dwelling unit shall not be less than 600 square feet.
- I. OFF-STREET PARKING:** Off-Street parking shall be provided in accordance with ALDC Section 7.04.1 except as follows:
- (1) For each dwelling unit within an Urban Residential Use, 1.1 space/bedroom, with 0.1 space/bedroom unreserved and available for use as visitor parking.
 - (2) On-street parking spaces located within 200 feet of a building may be included in the count of required off-street parking spaces for uses within that building; provided, however, such on-street

parking spaces may only be counted once and not counted toward the off-street for multiple uses within a building or more than one building.

- (3) Off-street parking requirements may be satisfied through the use of shared parking agreements, satisfying the requirements of ALDC Section 7.04.1.2.c.; provided, however, all off-street parking spaces that are the subject of a shared parking agreement must be located within 800-feet of the building/use which is including such space in its required off-street parking space count, said distance being measured at the shortest possible distance in a straight line from the building/use to the parking space.
- (4) Temporary parking for special events, and as approved with a Special Event Permit, may be approved by the Director of Community Development.
- (5) Parallel, perpendicular, or angled parking is allowed, in general conformance with the Concept Plan

J. TREE MITIGATION AND LANDSCAPING: Development of the Property shall comply with ALDC Section 7.06 except as follows:

- (1) Negative tree credits assessed for the removal of Hackberry trees shall be reduced by 25%;
- (2) Negative tree credits will not be assessed for a tree that is removed following the City arborist's determination the tree is at the end of its life, diseased, dead or dying;
- (3) Negative tree credits will not be assessed for removal of fence row trees located internal to the Property and existing prior to consolidation of ownership of the various tracts constituting the Property;
- (4) Tree preservation or replacement credits may be granted on the determination by the Director of Parks and Recreation based upon development details and level of landscaping provided during phase planning, with consideration being given to:
 - (a). Perimeter roadway, parkway and median landscaping;
 - (b) Interior landscape development such as high impact plantings throughout the Property exceeding the minimum landscaping requirements of the ALDC; and
 - (c) Landscaping within common areas.
- (5) Street tree spacing shall no less than forty foot (40') on center; trunk caliper shall be not less than three inches (3") at time of planting; and tree gate shall be not less than five feet (5') by six feet (6') at time of planting minimum.
- (6) Screening on any Block as required by ALDC Section 7.07.4 may be accomplished solely with landscaping or a combination of masonry and landscaping as approved by the Director of Parks and Recreation and Director of Community Development. Screening to be provided along the northern boundary of the Property adjacent to Blocks 1 and 2 shall consist at a minimum of an eight-foot (8') masonry wall located not less than one and one-half feet (1.5') from the existing northern property line. Vehicular access from these northern adjacent properties may be provided utilizing periodic breaks in the masonry wall, provided that visibility triangles are maintained in accordance with existing ALDC regulations.

K. INFRASTRUCTURE IMPROVEMENTS:

- (1) The Concept Plan illustrates typical streetscape sections for Public Right-of-Way along or within the Property.
- (2) Improvements to public streets are to have elements that reflect streetscape design standards that exists along Allen Drive and St. Mary Drive to provide a homogeneous environment with the surrounding area. The final design of the street and streetscape improvements will be determined with the respective Boyd Drive, Bonham Drive, Main Street, and Anna Drive construction plans.
- (3) Utility meters and other utility apparatus, including, but not limited to, transformers and switch boxes, shall:
 - (a) Be located to the rear of the structure unless screened from view from public streets and adjoining properties. Utility meters and apparatus located along public streets shall be screened from public view using evergreen shrubs planted at a height and spaced in such a manner that an opaque screen is achievable within one growing season; and
 - (b) Accessible for the purpose of allowing required for service and maintenance.

L. HIKE AND BIKE TRAIL CONNECTION:

- (1) A twelve feet wide connection to the off-site Hike and Bike Trail, inclusive of a publicly accessible trail head, shall be constructed adjacent to the Property as shown on the Concept Plan in accordance with plans and specifications approved by the Director of Parks and Recreation and Director of Community Development. Completion of construction of such trail and trailhead must be completed and accepted by the City prior to issuance of a certificate of occupancy for any building developed with Urban Residential dwellings.
- (2) Other required trails or sidewalks shall be constructed as illustrated on the Concept Plan.

M. TEMPORARY USES AND SPECIAL EVENTS: Temporary uses and special events conducted on the Property shall be conducted in accordance with ALDC Section 6.04 “Temporary Uses and Special Events” subject to the following:

- (1) Temporary Uses and Special Events shall not be limited by number or duration in a calendar year;
- (2) Temporary Uses and Special Events must be held only in non-residential Blocks;
- (3) Temporary Use and Special Event locations may not obstruct fire lanes/emergency access points; and
- (4) Special Events and Temporary Uses shall be conducted only upon approval of a permit.

N. FAÇADE MATERIALS – PARKING STRUCTURES: The construction of the exterior façades of parking structure constructed on the Property shall be subject to the following:

- (1) Street front openings in parking structures shall not exceed 75 percent of the façade area;
- (2) The shorter width façade of a parking structure may be oriented towards any street to facilitate garage access;

- (3) Cast in place and precast concrete are a permitted material. Such material fronting a public street shall be, at minimum, painted to be compatible with the adjacent building. Architectural barrier walls and screens shall be used to articulate the façade and hide parked vehicles.

O. BUILDINGS – USES AND FACADES:

- (1) For purposes of this ordinance only, ALDC Sec. 4.08.19.2.b.ii shall be read as follows:
 - i. The Design Review Committee shall approve the design plan if it determines that the construction, alteration or addition is of such appearance and design that the building or structure, when constructed or remodeled, or the alteration or addition as the case may be, satisfies the Central Business District standards, will be of good architectural design, and will be suitable to its location.
- (2) For purposes of this ordinance only, ALDC Sec. 4.08.19.2.c. shall be read as follows:
 - c. *Purpose.* The review and approval set forth herein is intended to go beyond the regulations of this Code to address issues specifically related to the relationship of adjacent properties and neighborhood patterns. The Design Review Committee is concerned with not only the design of the specific project but also the effect it will have on the surrounding properties. The purpose of Design Review Committee review and approval is to: encourage adaptive reuse of existing buildings, creative construction and major modifications that will enhance the architectural character of the Central Business District; stabilize and reinforce property values; protect private and public investment; reverse urban decline and blight; reverse neighborhood decline and improve housing quality; preserve the natural, historic and architectural qualities of the Central Business District; establish and enhance aesthetic and architectural compatibility within the Central Business District; attract residential and business development and redevelopment that provide aesthetic and safe and healthy living and working conditions in the Central Business District; and that building rehabilitation has the architecture and design elements of the principal structure.
- (3) A maximum of fifteen percent (15%) of the permitted secondary exterior building materials may include flat non-corrugated metal panels or exterior grade high pressure laminate panels.
- (4) Building exterior wall construction materials for facades not fronting a public street or property line (e.g., interior courtyards) may include the following secondary exterior building materials: cementitious panels/siding, flat non-corrugated metal panels or exterior grade high pressure laminate panels. These materials shall not exceed fifty percent (50%) of the overall surface area of these facades.
- (5) Commercial uses (Retail-Ready) will not be required at the first floor of a building unless indicated on the Architectural Plan attached hereto as Exhibit D and incorporated herein by reference. A Commercial space shall have a minimum floor-to-floor height of fourteen feet (14.0') unless indicated otherwise on the Architectural Plan.

P. STREETS, ALLEYS, AND CROSS-PARKING AND ACCESS EASEMENTS:

- (1) A perpetual cross-access easement established by plat or separate instrument for parking and vehicle and pedestrian ingress and egress shall be granted between and among all Blocks within the Property.
- (2) New alleys may be located and constructed in accordance with the Concept Plan.
- (3) The pavement and subgrade of all such private alleys developed within the Property shall be constructed at minimum in accordance with the City standard construction specifications for fire lanes.

Q. SIGN REGULATIONS: Signs installed, located, or constructed on the Property shall comply with applicable provisions of the ALDC except to the extent modified as follows:

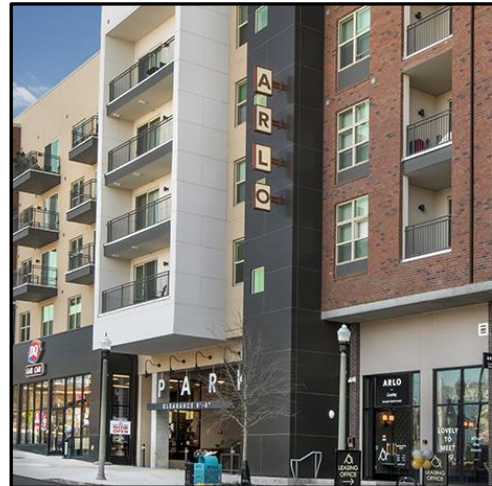
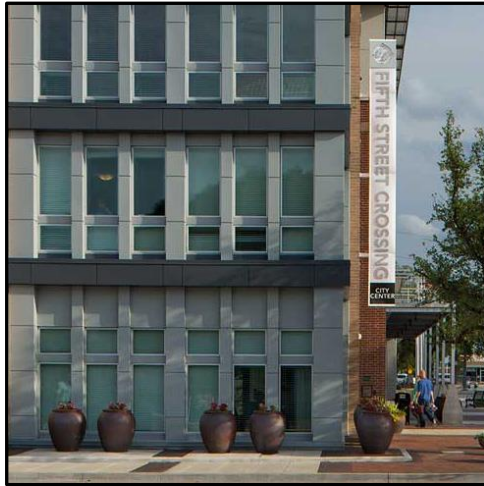
- (1) *A-Frame/Sandwich Sign.* A Sandwich/A-frame sidewalk sign displaying the name of the restaurant, offerings and hours of operation may be located in association with a restaurant use subject to the following:
 - (a) The sign height shall not exceed four (4) feet;
 - (b) Each sign face shall not exceed an area of eight (8) square feet;
 - (c) The sign may be placed in the pedestrian amenity zone created by street trees and pedestrian lighting, provided that:
 - i. The sign shall not be located no closer than one foot to the fact of the curb; and
 - ii. A minimum unobstructed sidewalk width of six (6) feet is maintained;
 - (d) A sign permit must be obtained from the City prior to placement of the sign on the Property;
 - (e) Only one (1) A-frame signs is permitted per occupancy; and
 - (f) A-frame signs may be placed on the sidewalk adjacent to the restaurant associated with the sign only during the restaurant's business hours.
- (2) *Hanging/Projecting Signs.* Hanging signs may be installed on the Property subject to the following:
 - (a) No more than one (1) hanging sign will be allowed for each first floor occupancy; provided, however, a first floor building occupant with public entrances on more than one street frontage may have one (1) hanging sign on each street frontage;
 - (b) Each sign face shall not exceed an area of twelve (12) square feet;
 - (c) Each sign face shall not exceed a width of five (5) feet;

- (d) The lowest edge of the sign shall not be less than eight (8) feet above the ground below the sign; and
- (e) No hanging signs shall be closer than fifteen (15) feet from another hanging sign.



Sample Hanging/Projecting Signage

- (3) *Blade Signs.*
 - (a) No more than one (1) blade sign will be allowed for each building face. The use of a blade sign on a building face will preempt the use of any permitted wall sign on the same building face and a monument sign on the same street frontage adjacent to that building face.
 - (b) Each blade sign shall not exceed an area of fifty (50) square feet per building face.
 - (c) Each blade sign shall not exceed a width of five (5) feet.
 - (d) The lowest edge of a blade signs shall not be less than twelve (12) feet above the ground.
 - (e) Blade signs shall be install so that the highest edge of the sign is not higher than the point that is two-thirds (2/3) of the building face height in linear feet.



Sample Blade Signage

- (4) *Illuminated Signs:* Illuminated signs will otherwise be allowed to face all streets, including US 75; provided, however, illuminated signs are not allowed to be installed on a street frontage facing a single-family residential development or within 150 feet of any single-family residential district.
- (5) *Banners:* Banners may be installed in association with the grand opening of a business in accordance with applicable provisions of the ALDC.
- (6) *Permanent signs:*
 - (a) Wall signs not exceeding a total area of forty (40) square feet may be placed on each street-facing façade of a building used for Urban Residential purposes. In lieu of, but not in addition to, the above-described wall signs, one (1) freestanding monument sign designed, constructed, and located in accordance with applicable provisions of the ALDC may be installed adjacent to the street-facing façade of an Urban Residential building.
 - (b) Retail and Commercial wall signs shall be limited to the maximum allowed for each retail tenant.
- (7) *Awning Signs.* Awning signs are permitted subject to the following:
 - (a) Awning signs may only be installed on the ground floor;
 - (b) One (1) awning sign will be allowed for each first floor occupancy; provided, however, a first floor building occupant with public entrances on more than one street frontage may have one (1) awning sign on each street frontage;
 - (c) Awning Signs must be installed with the lowest edge not less than nine (9) feet above sidewalk level;

- (d) Awning Signs shall not exceed ten (10) square feet in sign area, and will only be located on the face or surface of the awning;
- (e) If being used as the main business sign, an awning sign shall not be installed in addition to a wall-mounted sign; and
- (f) If being used as an auxiliary business sign, the awning sign must be located on the valance only, and the height of the lettering shall not exceed eight (8) inches.

SECTION 3. To the extent of any irreconcilable conflict with the provisions of the Ordinance and other ordinances of the City of Allen governing the use and development of the Property and which are not expressly amended by this Ordinance, the provisions of this Ordinance shall be controlling.

SECTION 4. Should any word, sentence, paragraph, subdivision, clause, phrase, or section of this Ordinance, or of the Allen Land Development Code Zoning Regulations, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Allen Land Development Code Zoning Regulations, as amended hereby, which shall remain in full force and effect.

SECTION 5. An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Allen Land Development Code Zoning Regulations, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 6. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in Allen Land Development Code Zoning Regulations of the City of Allen, as previously amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense.

SECTION 7. This Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Allen, and it is accordingly so ordained.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, ON THIS THE _____ DAY OF _____ 2019.

APPROVED:

Stephen Terrell, Mayor

APPROVED AS TO FORM:

ATTEST:

Peter G. Smith, City Attorney
(kbl:3//19:106904)

Shelley B. George, City Secretary

**EXHIBIT “A”
PROPERTY DESCRIPTION**

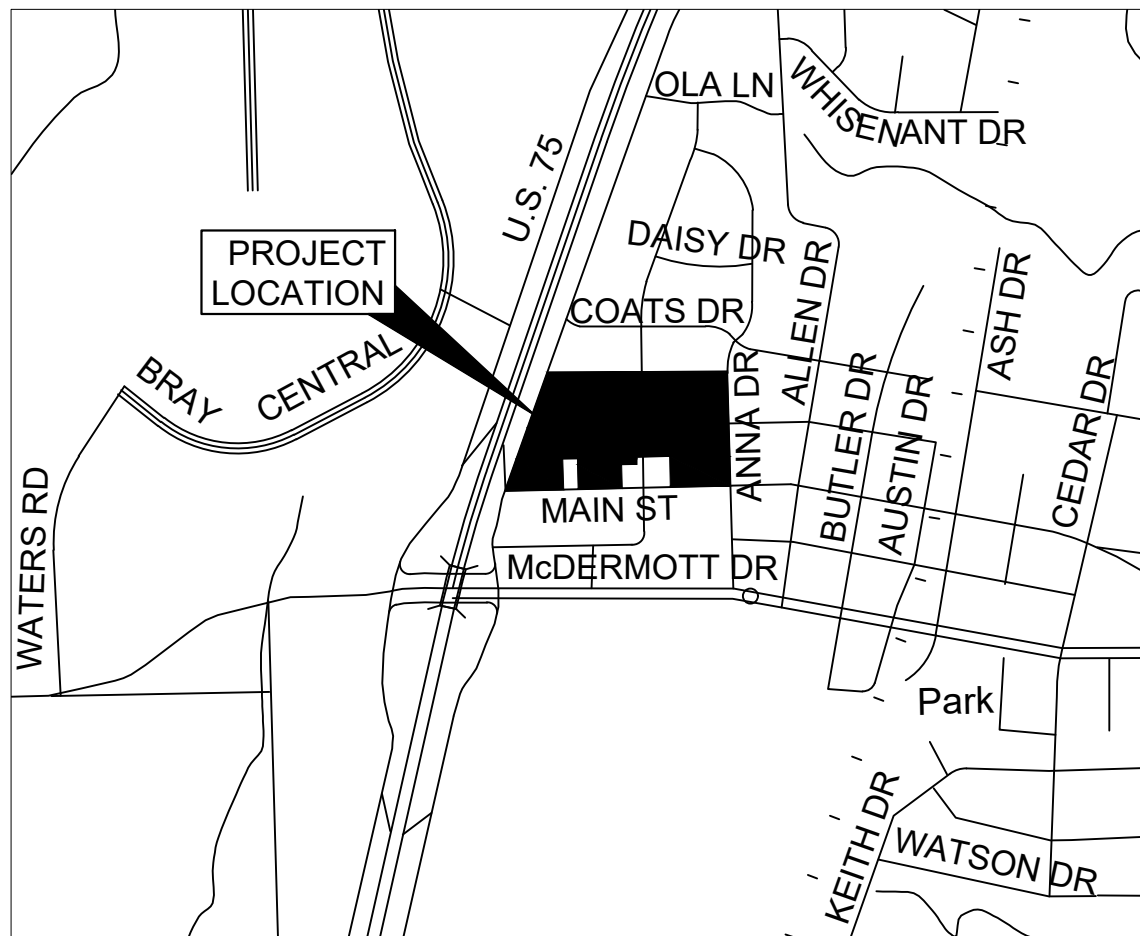
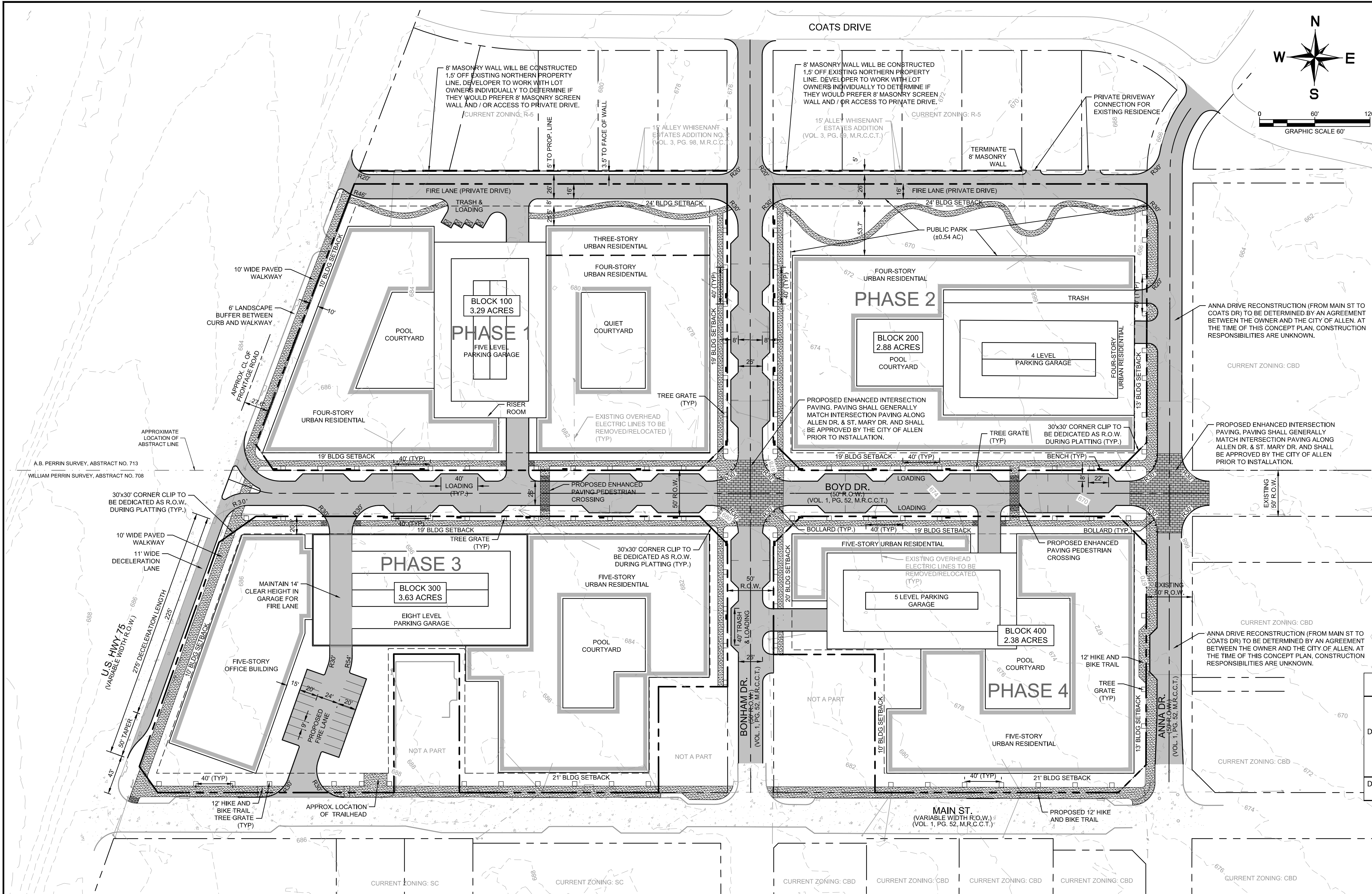
**EXHIBIT “B”
CONCEPT PLAN**

**EXHIBIT “C”
BUILDING CONCEPTS**

EXHIBIT “C”
BUILDING CONCEPTS cont.

**EXHIBIT “D”
ARCHITECTURAL PLAN**

2/20/2019 2:23 AM
K:\CADD\2019\02\12\0191816\AM
DWG DATE: 02/20/2019
DWG NAME: 02-CONCEPT PLAN.PLOT1 (Concept Plan)



NOTES

1. APPLICANT SHALL COMPLY WITH ALL IRRIGATION REGULATIONS IN V.T.C.A. ADMINISTRATIVE CODE TITLE 30, CHAPTER 344 RULES ESTABLISHED BY THE STATE OF TEXAS, AND REQUIREMENTS FOR IRRIGATION DESIGN AND WATER CONSERVATION SET IN THE ALLEN LAND DEVELOPMENT CODE SECTION 7.05.6, AND THE CITY OF ALLEN WATER CONSERVATION AND DROUGHT CONTINGENCY AND EMERGENCY RESPONSE PLAN.
2. ALL CONNECTIONS TO US 75 MUST BE APPROVED BY TxDOT. DRIVEWAY PERMIT TO BE OBTAINED AS SOON AS POSSIBLE. DEVELOPER SUBMITTALS TO TxDOT MUST BE MADE THROUGH THE CITY OF ALLEN WITH DETAILED ENGINEERING DRAWINGS ACCOMPANYING A PERMIT APPLICATION.
3. APPLICANT SHALL COMPLY WITH CITY ORDINANCE, CHAPTER 6, HEALTH AND ENVIRONMENT; ARTICLE III, SOLID WASTE; SECTIONS 6-51 TO 6-80.
4. APPLICANT SHALL COMPLY WITH IRRIGATION REGULATIONS IN V.T.C.A. ADMINISTRATIVE CODE TITLE 30, CHAPTER 344 RULES ESTABLISHED BY THE STATE OF TEXAS, AND REQUIREMENTS FOR IRRIGATION DESIGN AND WATER CONSERVATION SET IN THE ALLEN LAND DEVELOPMENT CODE SECTION 7.05.6, AND THE CITY OF ALLEN WATER CONSERVATION AND DROUGHT CONTINGENCY AND EMERGENCY RESPONSE PLAN.
5. PROPOSED DESIGN ELEMENTS ALONG MAIN ST, BOYD DR, BONHAM DR, AND ANNA DR SHALL BE CONSISTENT WITH THE EXISTING DESIGN ELEMENTS IN THE DOWNTOWN AREA.

PUBLIC / OFFSITE IMPROVEMENTS PHASING

DESIGNED AND CONSTRUCTED WITH BLOCK 100	BOYD DR RECONSTRUCTION - FROM FRONTAGE RD TO ANNA DR BONHAM DR RECONSTRUCTION - FROM MAIN ST TO COATS DR FRONTAGE RD RIGHT-TURN LANE 36" OFFSITE DRAINAGE EXTENSION SAN. SEWER RECONSTRUCTION IN BOYD DR SAN. SEWER RECONSTRUCTION IN BONHAM DR 12" WATER LINE EXTENSION FROM BOYD DR TO COATS DR
DESIGNED AND CONSTRUCTED WITH BLOCK 200	ANNA DR RECONSTRUCTION - FROM MAIN ST TO COATS DR SAN. SEWER RECONSTRUCTION IN ANNA DR

** CONSTRUCTION RESPONSIBILITIES FOR OFFSITE IMPROVEMENTS TO BE DETERMINED BY A DEVELOPER'S AGREEMENT BETWEEN OWNER AND THE CITY OF ALLEN **

SITE DATA SUMMARY TABLE	
BLOCK 100	
PROPOSED USE	URBAN RESIDENTIAL
EXISTING ZONING	CBD
PROPOSED ZONING	PD
GROSS SITE AREA	3.29 AC
LOT COVERAGE	58%
MAX FLOOR/AREA RATIO	1.5
BUILDING SETBACKS	
NORTH	24 FT
BOYD DRIVE	19 FT
BONHAM DRIVE	19 FT
U.S. HWY 75	10 FT
MAXIMUM HEIGHT (FT & STORIES)	60 FT (4 STORIES)
REQUIRED OPEN SPACE (AC & %)	0.33 AC, 10%
PROVIDED OPEN SPACE (AC & %)	0.33 AC, 10%
TOTAL GROSS DENSITY (DU/AC)	78 DU/AC
TOTAL NUMBER OF DWELLING UNITS	
4 LEVELS UR (780 MKT SF/AVG)	255 UNITS
LEASING/AMENITY	5000 SF
PARKING REQUIRED	
1.3 SPACE/UNIT	332 SPACES
PARKING PROVIDED	
5 LEVEL GARAGE (64 SP/LEVEL)	320 SPACES
STREET PARKING	14 SPACES
TOTAL PARKING	334 SPACES

SITE DATA SUMMARY TABLE	
BLOCK 200	
PROPOSED USE	URBAN RESIDENTIAL
EXISTING ZONING	CBD
PROPOSED ZONING	PD
GROSS SITE AREA	2.88 AC
LOT COVERAGE	55%
MAX FLOOR/AREA RATIO	1.5
MAXIMUM HEIGHT (FT & STORIES)	60 FT (4 STORIES)
REQUIRED OPEN SPACE (AC & %)	0.29 AC, 10%
PROVIDED OPEN SPACE (AC & %)	0.29 AC, 10%
TOTAL GROSS DENSITY (DU/AC)	60 DU/AC
TOTAL NUMBER OF DWELLING UNITS	
4 LEVELS UR (800 MKT SF/AVG)	171 UNITS
LEASING/AMENITY	3500 SF
PARKING REQUIRED	
1.3 SPACE/UNIT	223 SPACES
PARKING PROVIDED	
4 LEVEL GARAGE (75 SP/LEVEL)	300 SPACES
STREET PARKING	14 SPACES
TOTAL PARKING	314 SPACES

SITE DATA SUMMARY TABLE	
BLOCK 300	
PROPOSED USE	URBAN RESIDENTIAL, OFFICE
EXISTING ZONING	CBD
PROPOSED ZONING	PD
GROSS SITE AREA	3.63 AC
LOT COVERAGE	59%
MAX FLOOR/AREA RATIO	2.5
MAXIMUM HEIGHT (FT & STORIES)	85 FT
REQUIRED OPEN SPACE (AC & %)	0.45 AC, 12.5% (OFFICE 15%, RESIDENTIAL 10%)
PROVIDED OPEN SPACE (AC & %)	0.45 AC, 12.5%
TOTAL GROSS DENSITY (DU/AC)	54 DU/AC
TOTAL NUMBER OF DWELLING UNITS	
5 LEVELS UR (800 MKT SF/AVG)	196 UNITS
LEASING/AMENITY	3500 SF
PARKING REQUIRED - DWELLING UNITS	
1.3 SPACE/UNIT	255 SPACES
PARKING PROVIDED - RESIDENTIAL	
3 LEVEL GARAGE (82 SP/LEVEL)	246 SPACES
STREET PARKING	10 SPACES
TOTAL PARKING	256 SPACES
PARKING REQUIRED - OFFICE	
1 SPACE/300 SF	400 SPACES
PARKING PROVIDED - OFFICE	
5 LEVEL GARAGE (82 SP/LEVEL)	410 SPACES
SURFACE PARKING	19 SPACES
TOTAL PARKING	429 SPACES

SITE DATA SUMMARY TABLE	
BLOCK 400	
PROPOSED USE	URBAN RESIDENTIAL
EXISTING ZONING	CBD
PROPOSED ZONING	PD
GROSS SITE AREA	2.38 AC
LOT COVERAGE	66%
MAX FLOOR/AREA RATIO	2.5
MAXIMUM HEIGHT (FT & STORIES)	85 FT
REQUIRED OPEN SPACE (AC & %)	0.24 AC, 10%
PROVIDED OPEN SPACE (AC & %)	0.24 AC, 10%
TOTAL GROSS DENSITY (DU/AC)	96 DU/AC
TOTAL NUMBER OF DWELLING UNITS	
5 LEVELS UR (800 MKT SF/AVG)	228 UNITS
LEASING/AMENITY	3500 SF
PARKING REQUIRED	
1.3 SPACE/UNIT	297 SPACES
PARKING PROVIDED	
5 LEVEL GARAGE (58 SP/LEVEL)	290 SPACES
STREET PARKING	8 SPACES
TOTAL PARKING	298 SPACES

EXHIBIT B PD CONCEPT PLAN ALLEN CITY CENTER

12.28 ACRES
A.B. PERRIN SURVEY, ABSTRACT NO. 713 & WILLIAM PERRIN SURVEY, ABSTRACT NO. 708
City of Allen, Collin County, Texas
City Project No. _____
Submitted 11/16/2018
Revised 07/01/2019

Owner:

MCIT, LLC
16250 Knoll Trail Dr, Suite 210
Dallas, TX 75248
Contact: Jim Leslie
Phone: (972) 250-1037

Architect:

JHP Architecture / Urban Design
8340 Meadow Road, Suite 150
Dallas, TX 75231
Contact: J. Mark Wolf
Phone: 214-363-5687

Engineer:

Kimley-Horn and Associates, Inc.
13455 Noel Rd, Two Galleria Office Tower,
Ste 700
Dallas, Texas 75240
Contact: Jonathan Kerby, P.E.
Phone: 972-770-1330

ALLEN CITY CENTER
BLOCK 12 & 13, WHISENANT ADDITION
CITY OF ALLEN
COLLIN COUNTY, TEXAS

EXHIBIT B PD CONCEPT PLAN

Kimley»Horn

© 2019 KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240
PHONE: 972-770-1330 FAX: 972-238-3820
WWW.KIMLEY-HORN.COM TX F-928

KHA PROJECT
064-05012
DATE
07/01/2019
SCALE
AS SHOWN
DESIGNED BY
RCL
DRAWN BY
RCL
CHECKED BY
JOK

REVISIONS
No.
DATE
BY

SHEET NUMBER
EX-B



01

Southwest Corner Perspective



02

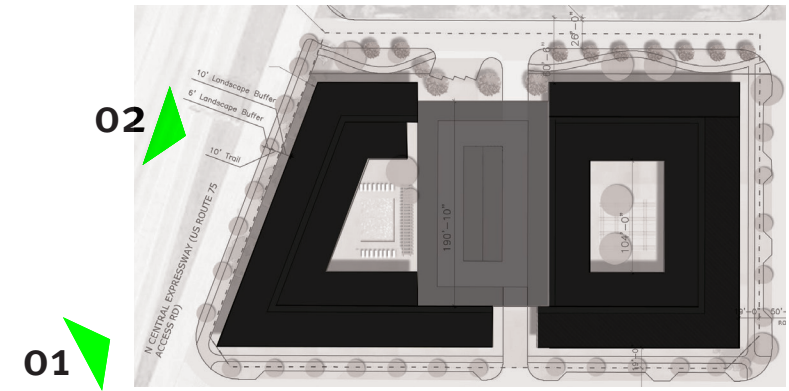
West Elevation

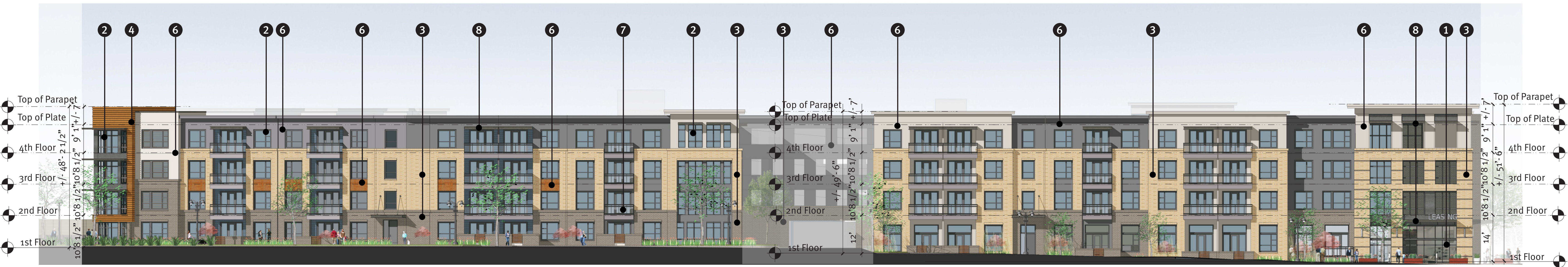
Exterior Facade Materials: Masonry 96% Secondary: 6%

Percentage of Openings: F1: 37% F2: 38% F3: 38% F4: 31%

MATERIAL LEGEND

- 1 Storefront
- 2 Windows
- 3 Masonry-Brick
- 4 Metal Panel
- 5 Not Used
- 6 Masonry-Stucco
- 7 Metal Assembly Rail
- 8 Metal Awning
- 9 Precast Concrete Panel, PTD





01 South Elevation Exterior Facade Materials: Masonry 98% Secondary: 2% Percentage of Openings: F1: 37% F2: 34% F3: 34% F4: 29%



02 North Elevation Exterior Facade Materials: Masonry 100% Percentage of Openings: F1: 8% F2: 8% F3: 8% F4: 8%



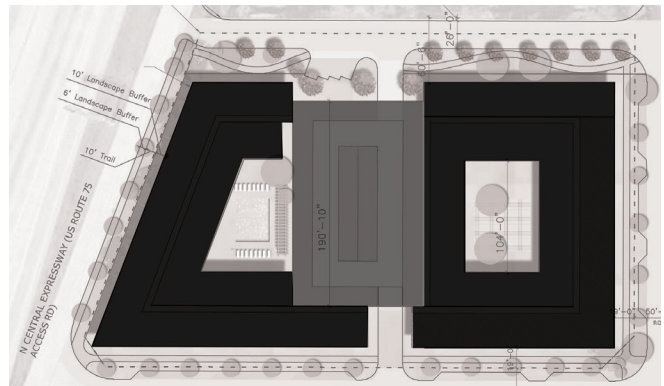
03 East Elevation Exterior Facade Materials: Masonry 100% Percentage of Openings: F1: 35% F2: 37% F3: 37% F4: 28%

MATERIAL LEGEND

- 1 Storefront
- 2 Windows
- 3 Masonry-Brick
- 4 Metal Panel
- 5 Not Used
- 6 Masonry-Stucco
- 7 Metal Assembly Rail
- 8 Metal Awning
- 9 Precast Concrete Panel, PTD



01 Southeast Corner Perspective



01

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
--

AGENDA DATE:	July 16, 2019
SUBJECT:	Conduct a Public Hearing and Consider a Request for a Replat for Stacy Green, Lot 5R-1, Block B, Being 0.883± Acres; Generally Located Directly South of Stacy Road and Approximately 489± Feet West of Chelsea Boulevard Right-of-Way. (PL-060719-0076) [Stacy Green]
STAFF RESOURCE:	Hayley Angel, AICP Candidate Planner II
PREVIOUS COMMISSION/COUNCIL ACTION:	Planned Development No. 45 - Approved July, 1987 Planned Development No. 45 - Approved October, 2017 Preliminary Plat - Approved March, 2018 Final Plat - Approved June, 2018 Replat - Approved September, 2018
LEGAL NOTICES:	None.
ANTICIPATED COUNCIL DATE:	None.

BACKGROUND

The property is generally located south of Stacy Road and west of Chelsea Boulevard right-of-way. The properties to the north (across Stacy Road) are zoned Planned Development PD No. 92 Shopping Center SC. The properties to the west, south, and east are zoned Planned Development PD No. 45 Shopping Center SC.

A Planned Development amendment was approved in October 2017. A Replat was approved in September 2018. A Site Plan for the property was approved in April 2019. Platting is the last step in the development process.

The Replat shows a single lot encompassing 0.883± acres. All four of the access points into the site are through internal access easements. The plat also shows various easements required for development of the property.

The Replat has been reviewed by the Technical Review Committee and meets the standards of the Allen Land Development Code.

STAFF RECOMMENDATION

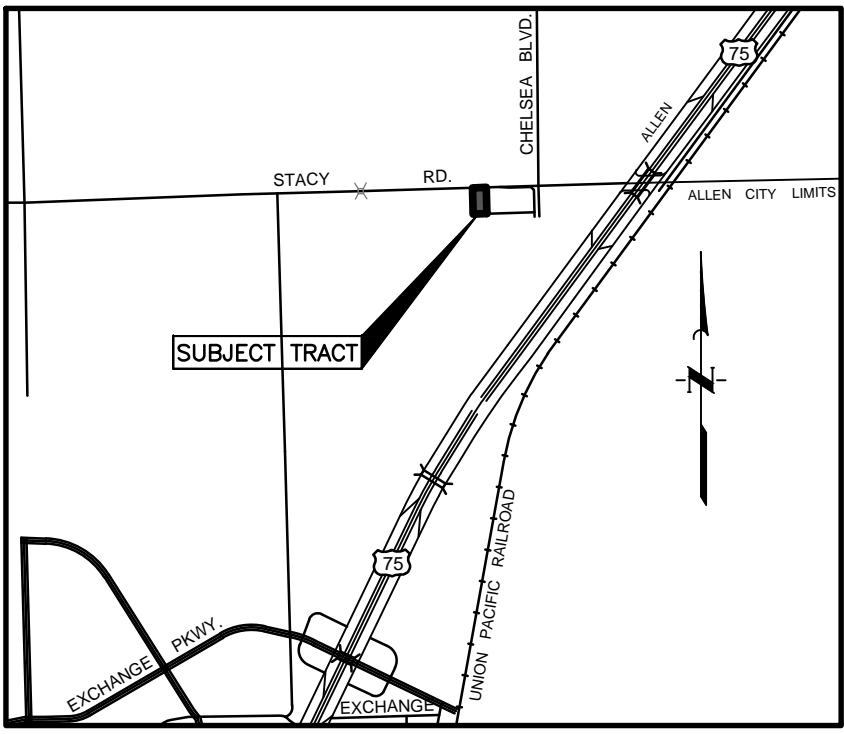
Staff recommends approval.

MOTION

I move to approve the Replat of Lot 5R-1, Block B, Stacy Green, as presented.

ATTACHMENTS:

Replat



VICINITY MAP
N.T.S.

CURVE TABLE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	30.00'	27.82'	26.83'	S 64°33'39" E	53°07'27"	15.00'
C2	30.00'	27.82'	26.83'	N 62°18'30" E	53°07'27"	15.00'

LEGEND :

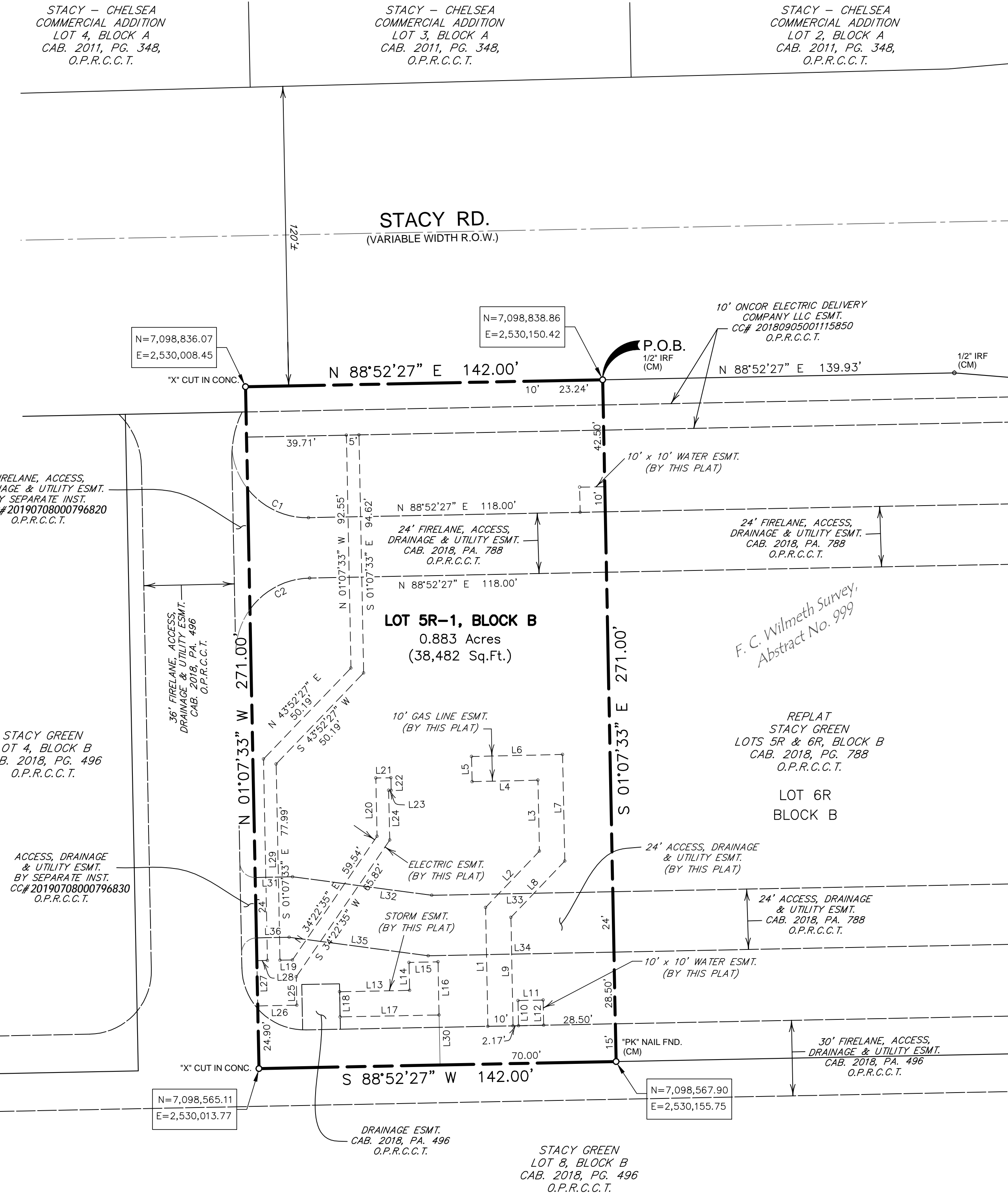
POB	POINT OF BEGINNING
CM	CONTROL MONUMENT
R.O.W.	RIGHT OF WAY
VOI.	VOLUME
PG.	PAGE
ESMT	EASEMENT
IRF	IRON ROD FOUND
CIRF	CAPPED IRON ROD FOUND
CIRS	5/8" CAPPED IRON ROD WITH YELLOW CAP STAMPED "JONES CARTER" SET FOR CORNER
BL	BUILDING LINE
UE	UTILITY EASEMENT
SSE	SANITARY SEWER EASEMENT
DE	DRAINAGE EASEMENT
WLE	WATERLINE EASEMENT
NR	NON-RADIAL LOT LINE
D.R.C.C.T.	DEED RECORDS, COLLIN COUNTY, TEXAS
R.P.R.C.C.T.	REAL PROPERTY RECORDS, COLLIN COUNTY, TEXAS
O.R.C.C.T.	OFFICIAL RECORDS, COLLIN COUNTY, TEXAS
O.P.R.C.C.T.	OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS
C.C.F.	COUNTY CLERK FILE NUMBER

LINE TABLE

LINE	BEARING	DISTANCE
L1	N 01°07'28" W	47.24'
L2	N 43°44'27" E	30.99'
L3	N 01°14'15" W	28.20'
L4	S 88°44'17" W	26.16'
L5	N 01°15'43" W	10.00'
L6	N 88°44'17" E	36.17'
L7	S 01°14'15" E	42.34'
L8	S 43°44'27" W	31.00'
L9	S 01°07'28" E	43.11'
L10	S 01°07'33" E	10.00'
L11	S 88°52'27" W	10.00'
L12	N 01°07'33" W	10.00'
L13	S 88°52'27" W	27.82'
L14	S 01°07'33" E	11.12'
L15	S 88°52'27" W	11.50'
L16	N 01°07'13" W	21.12'
L17	N 88°52'43" E	39.33'
L18	S 01°04'58" E	10.00'
L19	N 88°52'27" E	4.97'
L20	N 01°14'20" W	23.16'
L21	N 88°45'40" E	6.00'
L22	S 01°14'20" E	5.00'
L23	S 88°45'40" W	1.00'
L24	S 01°14'20" E	19.77'
L25	S 01°07'33" E	11.28'
L26	S 88°52'27" W	15.54'
L27	N 01°07'33" W	18.00'
L28	N 88°52'27" E	4.22'
L29	N 01°07'33" W	80.06'
L30	S 01°07'33" E	19.89'
L31	N 88°52'27" E	14.87'
L32	S 82°24'54" E	55.79'
L33	N 88°52'27" E	71.98'
L34	N 88°52'27" E	73.80'
L35	S 82°24'54" E	55.79'
L36	N 88°52'27" E	13.05'

GENERAL NOTES:

1. Basis of Bearings are based on the Texas State Plane Coordinate System, NAD 83, North Central Zone 4202.
2. No Construction shall be allowed within FEMA Designated Flood Plain without a Hydraulic Study.
3. All floodplain information on this plat is for graphical depiction only, as scaled off of Firm Panel Map #48121C0505G, Revised Dated April 18, 2011 for Collin County, Texas. This property is in Zone X, Areas determined to be outside the 0.2% annual chance floodplain.



KNOW ALL MEN BY THESE PRESENTS:

That I, Eduardo Martínez, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that this Plat is true and correct and was prepared from an actual survey made under my supervision on the ground.

Signature: _____

Date: _____

STATE OF TEXAS :
COUNTY OF COLLIN :

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Eduardo Martínez, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the _____th day of _____, 20____.

**PRELIMINARY
FOR REVIEW ONLY.
THIS DOCUMENT SHALL NOT BE
RECORDED FOR ANY PURPOSE.**

Notary Public in and for the State of Texas

APPROVED

Chairman
Planning and Zoning Commission

Date

Executed Pro-forma

Mayor

Attest

Secretary
Planning and Zoning Commission

Date

Date

The undersigned, the City Secretary of the City of Allen, Texas, hereby certifies that the foregoing Replat of "STACY GREEN" Lot 5R-1, Block B, to the City of Allen was submitted to the Planning and Zoning Commission and approved by it on the _____ day of _____, 20____.

City Secretary, City of Allen

OWNER'S CERTIFICATION

STATE OF TEXAS :
COUNTY OF DENTON :

WHEREAS, Stacy 75 partners, LP, is the owner of a 0.883 acre tract of land tract of land in the F. C. Wilmeth Survey, Abstract No. 999, Collin County, all of Lot 5R, Block B of Replat of Stacy Green Lot 5R and 6R, Block B, an addition to the City of Allen, Collin County, Texas as recorded in Cabinet 2018, Page 788, Official Public Records, Collin County, Texas (O.P.R.C.C.T.), and being a portion of a tract of land described in deed to Stacy 75 partners, LP, as recorded in County Clerk's No. Instrument No. 20180108000031730, O.P.R.C.C.T., and being more particularly described as follows:

BEGINNING at a 1/2 inch iron rod found at the northeast corner of said Lot 5R, Block B and the northwest corner of said Lot 6R, Block B, also being on the south right-of-way line of Stacy Road (a variable width right-of-way), from which a found 1/2 inch iron bears North 88 Degrees 52 Minutes 27 Seconds East, a distance of 139.93 feet;

THENCE South 01 Degrees 07 Minutes 33 Seconds East, departing the south right-of-way line of said Stacy Road, along the east line of said Lot 5R, Block B, a distance of 271.00 feet to a 1/4" nail found at the southeast corner of said Lot 5R, Block B, and the north line of Lot 8, Block B of Stacy Green Lots 1-9 Block A, and Lots 1-11 Block B, an addition to the City of Allen, Collin County, Texas as recorded in Cabinet 2018, Page 496, O.P.R.C.C.T.;

THENCE South 88 Degrees 52 Minutes 27 Seconds West, along the common line between Lot 8 and Lot 5R, a distance of 142.00 feet to an CE cut in concrete for the southwest corner of said Lot 5R, Block B;

THENCE North 01 Degrees 07 Minutes 33 Seconds West, along the common line between Lot 8 and Lot 5R, a distance of 271.00 feet to an CE cut in concrete for the northwest corner of said Lot 5R, Block B and the south right-of-way line of said Stacy Road;

THENCE North 88 degree 52 Minutes 27 Seconds East, along the south right-of-way line of said Stacy Road and with the north line of said Lot 5R, Block B, a distance of 142.00 feet to the POINT OF BEGINNING and containing 38,482 square feet or 0.883 acres of land more or less.

STATE OF TEXAS :
COUNTY OF COLLIN :

Now Therefore, know all men by these presents:

That Stacy 75 partners, LP, through the undersigned authority, does hereby adopt this plat designating the described property as "STACY GREEN", Lot 5R-1, Block B, an addition to the City of Allen, Texas, and does hereby dedicate to the public use forever the streets and alleys thereon; and does hereby dedicate the easements strips shown on the plat for mutual use and accommodations of all public utilities desiring to use, or using same. No building, fences, trees, shrubs or other improvements shall be constructed or placed upon, over or across the easement strip on said plat, any public utility shall have the right to remove and keep removed all or part of any building, fences, trees, shrubs, or other improvements, or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on any of these easements strips, and any public utility shall at all times have the right of ingress and egress to and from and upon any of said easement strips for the purpose of construction, reconstruction, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone.

this plat is approved subject to all platting ordinances , rules regulations, and resolutions of the City of Allen, Texas.

Witness my hand this _____ day of _____, 20____.

Stacy 75 partners, LP,
a Texas limited partnership

By: STACY 75 PARTNERS GP LLC
a Texas limited liability company
its general partner

By: PRA GP NO. 2
a Texas corporation
its manager

By: _____
Julian Hawes, Jr., Vice President

STATE OF TEXAS:
COUNTY OF COLLIN:

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Julian Hawes, Jr., known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that the same was the act of the said Stacy 75 partners, LP, and that he executed the same as the act of such Stacy 75 partners, LP, for the purpose and consideration therein expressed and in the capacity therein stated.

given my hand and seal of office, this the _____ day of _____, 20____.

Notary Public, State of Texas

My Commission expires : _____

REPLAT OF
STACY GREEN

LOT 5R-1, BLOCK B
BEING 0.883 ACRES (38,482 SQ. FT.)
BEING A REPLAT OF LOTS 5R & 6R, BLOCK B
REPLAT STACY GREEN
CABINET 2018, PAGE 788, O.P.R.C.C.T.
SITUATED IN THE
F. C. WILMETH SURVEY, ABSTRACT NO. 999
IN THE
CITY OF ALLEN, COLLIN COUNTY, TEXAS
JUNE 2019

OWNER:
STACY 75 Partners, LP
10210 N. CENTRAL EXPRESSWAY,
DALLAS, TEXAS 75221
PHONE: (972) 385-4100

ENGINEER / SURVEYOR:
JC JONES CARTER
Texas Board of Professional Engineers Registration No. F-439
6509 Windcrest Drive, Suite 600 • Plano, Texas 75024
972-488-3880
Texas Board of Professional Land Surveying Registration No. 100461-03
Contact: Eduardo Martínez, E-mail: emartinez@jonescarter.com

NO.	DATE	REVISION	APPROVED

JOB No. 16337-0003 BAS/EM DWG No. 1807

SHEET 1 OF 1

PLANNING AND ZONING COMMISSION AGENDA COMMUNICATION
--

AGENDA DATE:	July 16, 2019
SUBJECT:	Conduct a Public Hearing and Consider a Request to Amend the Development Regulations of Planned Development PD No. 56 Shopping Center "SC" By Adding "Banquet Hall" as a Permitted Use and to Adopt a Concept Plan for Lot 1, Block A, Custer/McDermott Addition; Generally Located 623± Feet East of S. Custer Road and Directly South of W. McDermott Drive (and Commonly Known as 2021 W. McDermott Drive). (ZN-053119-0051) [McDermott Banquet Hall]
STAFF RESOURCE:	Hayley Angel, AICP Candidate Planner II
PREVIOUS COMMISSION/COUNCIL ACTION:	Planned Development No. 56 - Approved September, 1994 Final Plat - Approved December, 1997
LEGAL NOTICES:	Public Hearing Sign - Installed July 5, 2019 Public Hearing Letters - Mailed July 5, 2019
ANTICIPATED COUNCIL DATE:	August 13, 2019

BACKGROUND

The property is generally located east of S. Custer Road and directly south of W. McDermott Drive (and commonly known as 2021 W. McDermott Drive). The property to the north, across W. McDermott Drive, is Agricultural-Open Space AO. The properties to the east are zoned Planned Development PD No. 56 Single-Family Residential SF. The property to the south and west is zoned Planned Development PD No. 56 Shopping Center SC.

The property is currently zoned Planned Development PD No. 56 Shopping Center SC. The applicant is requesting to amend the Development Regulations to add Banquet Hall as a permitted use.

There are four points of access into the site -- one through W. McDermott Drive, one through an existing Fire Lane, Access, and Utility Easement, and two through internal access drives.

The attached Concept Plan shows the existing 3,783± square foot building being used as a Banquet Hall. There is a proposed second phase of development, which includes enclosing the existing drive through and adding eight parking spaces. The second phase would add an additional 1,254± square feet of building area to the site.

The development regulations include a definition for Banquet Hall.

The attached Building Elevations highlight the proposed addition to the building, with stucco, brick, and stone as the primary building materials.

The Planned Development Amendment request has been reviewed and meets the standards of the Allen Land Development Code.

STAFF RECOMMENDATION

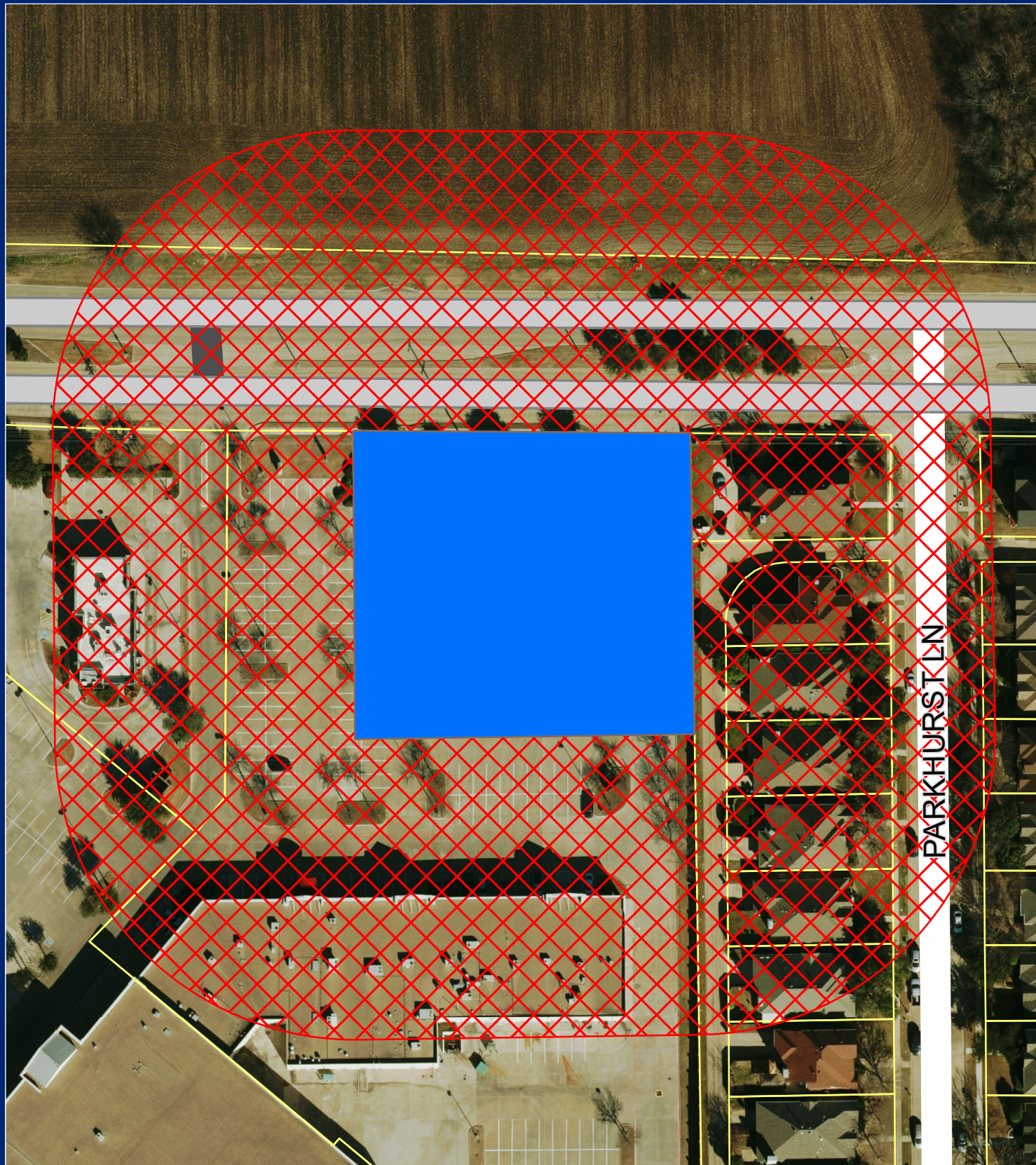
Staff recommends approval.

MOTION

I move to recommend approval of an ordinance to amend Planned Development PD No. 56 Shopping Center SC for Lot 1, Block A, Custer/McDermott Addition, subject to the Development Regulations, Concept Plan, and Building Elevations, as presented.





ATTACHMENTS:

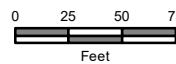
Property Notification Map
Development Regulations
Concept Plan
Elevations



Property Ownership Notification
McDermott Banquet Hall
2021 W McDermott Dr

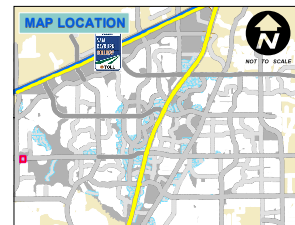
Map Legend

-  Public Hearing Property
-  200' Buffer
-  Railroad
-  CollinCAD Parcels



Community Development - Planning
Date Saved: 7/3/2019

NOTE: This map is only for illustration purpose only, please contact the City of Allen Planning & Development Department for specific rules and regulations.



DRAFT OF PROPOSED DEVELOPMENT REGULATIONS FOR
MCDERMOTT BANQUET HALL

The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended, (“ALDC”) and Tract C of Planned Development “PD” No. 56 as set forth in Ordinance No. 1281-9-94, (“the PD 56 Ordinance”), except to the extent modified by the Development Regulations set forth below:

- A. **CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit “B” and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of Site Plan approval.

- B. **PERMITTED USES:** In addition to the uses permitted by the PD 56 Ordinance with respect to the use and development of Tract C, the Property may be developed and used for a “Banquet Hall” use. For purposes of this Section 2.B., “Banquet Hall” means an establishment which is rented by individuals or groups used for the purpose of hosting private functions including, but not limited to a party, banquet, reception, or social event.

MCDERMOTT BANQUET HALL
SE CORNER OF MCDERMOTT & CUSTER
ALLEN, TEXAS

OWNER
GRANDEZZA REAL INVESTMENTS, LLC
Attn: Praveen Billa
8765 Stockard Dr., Suite 501
Frisco, Texas 75034
P: 972.965.7751

MCDERMOTT COMMONS
SHOPPING CENTER
ALLEN, COLLIN COUNTY, TEXAS
PARTNER PROJECT NUMBER 13-104448
SITE NUMBER 1.

INTERIM REVIEW DOCUMENTS
This document is issued under the authority of
Gary McCalla, 12519 on 07-09-19.

Remarks:

Issue Date:
09 JULY 2019

Project No:
19C51A
Sheet Title:

ATTACHMENT C -
CONCEPT PLAN

Sheet No:

A1.01

LINE TYPE LEGEND

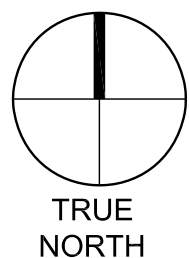
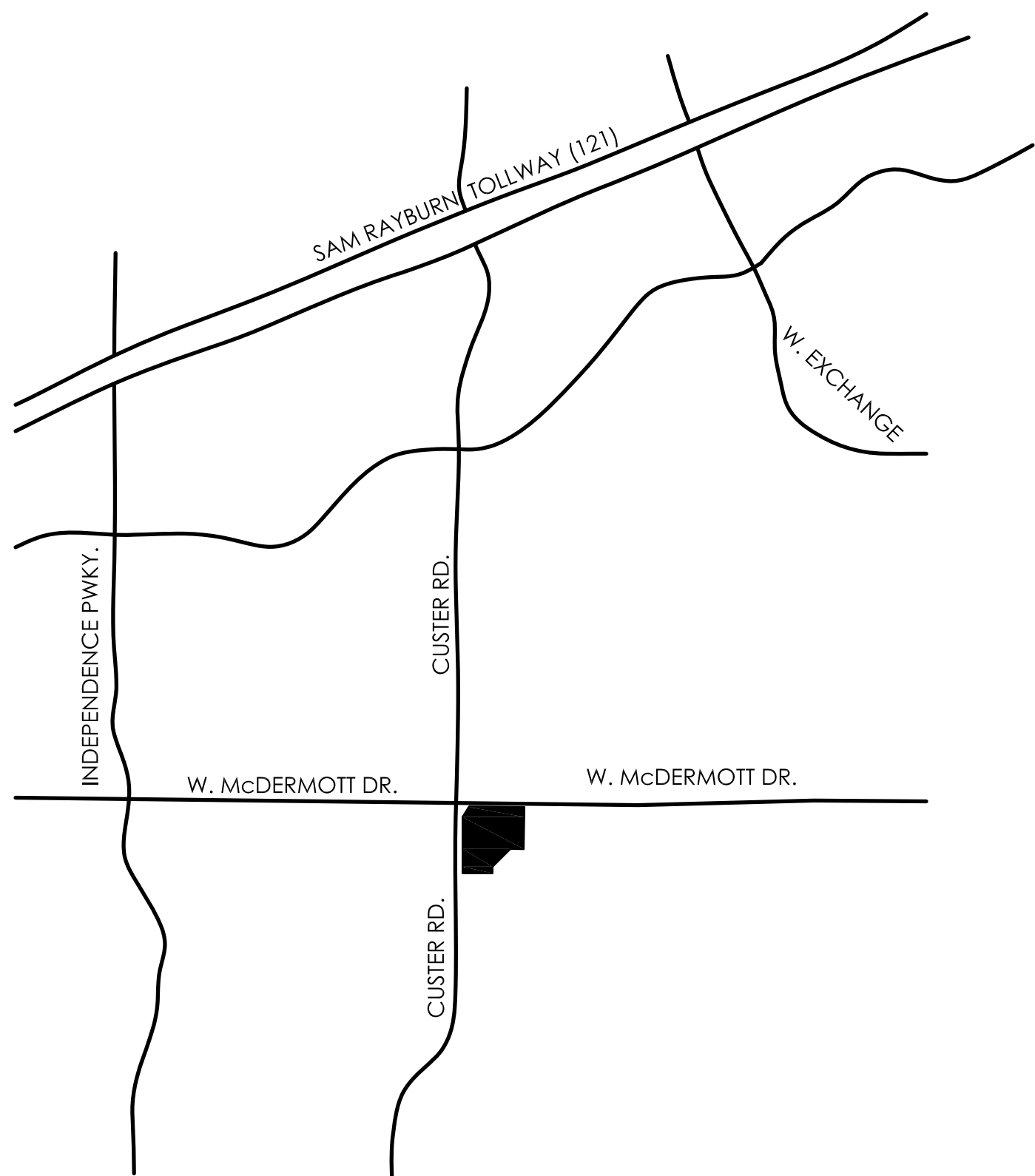
PROPERTY LINE	---
SETBACK	---
EASEMENT	---
PHASE LINE	---
OVERHEAD EASEMENT	--- OHE --- OHE ---

SITE REGULATIONS

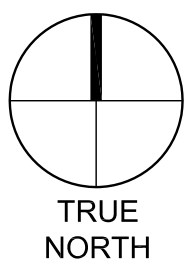
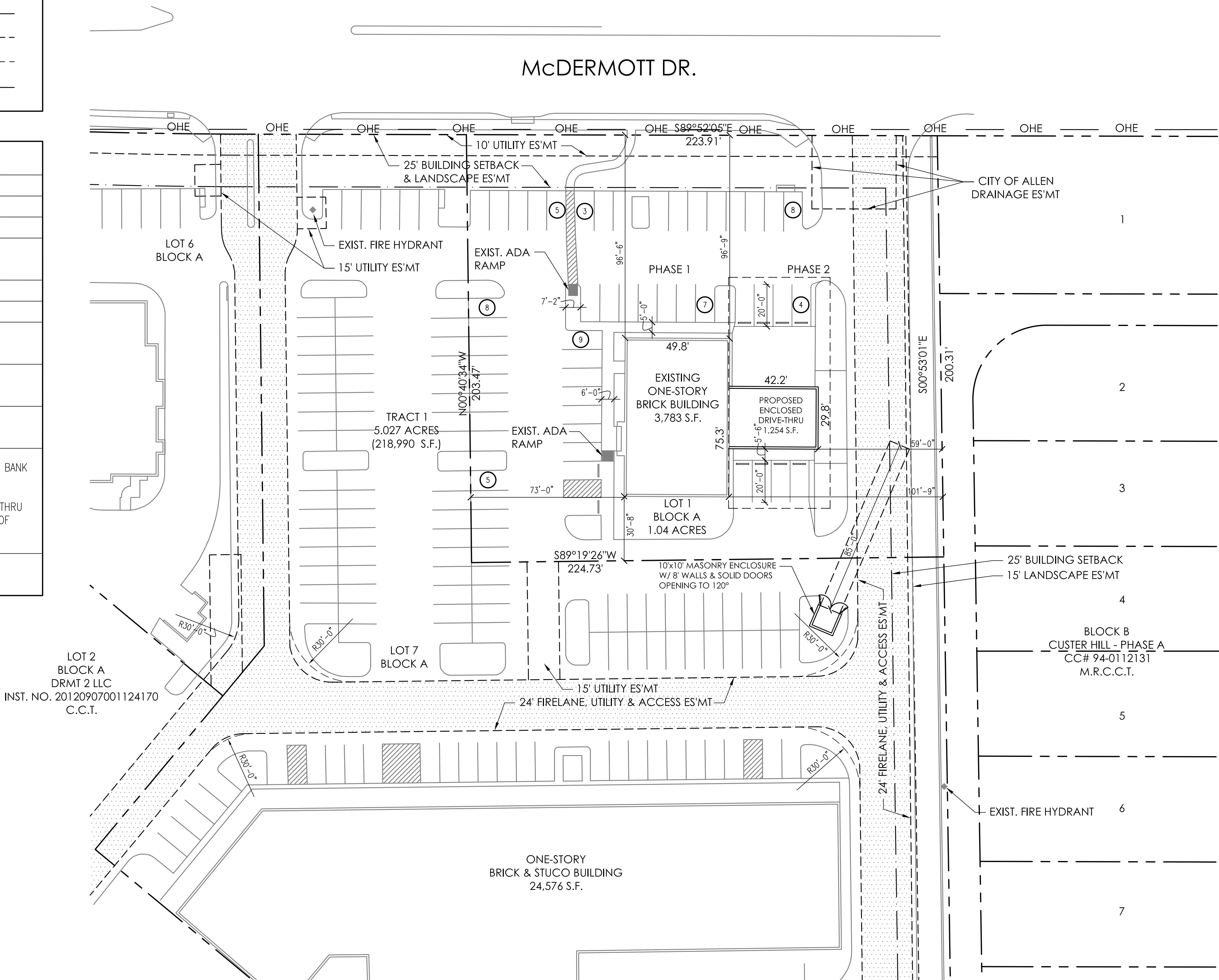
	EXISTING	PROPOSED
BASE ZONING	'SC' SHOPPING CENTER	PROPOSED TO MATCH EXISTING
PERMITTED USE	BANK & FINANCIAL INSTITUTION	BANQUET HALL
MINIMUM SETBACKS	FRONT: 25' SIDE: 25' REAR: 0'	PROPOSED TO MATCH EXISTING
MINIMUM LOT WIDTH, DEPTH, & AREA	WIDTH: N/A DEPTH: N/A AREA: N/A	PROPOSED TO MATCH EXISTING
MAXIMUM HEIGHT	35'-0" MAXIMUM HEIGHT	PROPOSED TO MATCH EXISTING
BUILDING MATERIALS	BRICK VENEER, STONE VENEER, CAST STONE, STUCCO	PROPOSED TO MATCH EXISTING

SITE DATA SUMMARY

LAND USE	BANQUET HALL
BUILDING SITES	1.04 ACRES, EXISTING P.D. NO. 56 SC
LOT COVERAGE	PROPOSED TO MATCH EXISTING
FLOOR AREA RATIO	PHASE 1: PROPOSED TO MATCH EXISTING @ .083 PHASE 2: FAR = .111
BUILDING SITES	ONE STORY; 35'-0" MAXIMUM HEIGHT
PARKING RATIO	1 PARKING STALL PER 100 S.F.
PARKING REQUIRED	PHASE ONE: 3,783 SF./100 = 38 SPOTS PHASE TWO: 5,037 SF./100 = 51 SPOTS
PARKING PROVIDED	PHASE ONE: 45 SPOTS PHASE TWO: 53 SPOTS
FLOOD PLAIN AREAS	SITE NOT IN FLOOD PLAIN ACCORDING TO CITY OF ALLEN G.I.S. MAPS
PHASE OF DEVELOPMENT	PHASE 1 SCOPE INCLUDES INTERIOR RENOVATION TO THE EXISTING BANK FACILITY TO CREATE A BANQUET HALL. PHASE 2 SCOPE INCLUDES ENCLOSING THE EXISTING BANK DRIVE-THRU LANES FOR ADDITIONAL BANQUET HALL SPACE, AND THE ADDITION OF EIGHT (8) PARKING SPACES.
HIKE AND BIKE TRAILS	NOT APPLICABLE TO SITE



VICINITY MAP
NOT TO SCALE



01 CONCEPT PLAN

SCALE: 1" = 40'

0' 20' 40' 60'

PD AMENDMENT CONCEPT PLAN
MCDERMOTT BANQUET HALL
LOT 1, BLOCK A, CUSTER/MCDERMOTT ADDITION
1.04 ACRES
MCDERMOTT COMMONS SHOPPING CENTER
CITY OF ALLEN, COLLIN COUNTY
SUBMITTED: JULY 09, 2019

•	NORTH ELEVATION		
	MASONRY: 1,321 S.F.		
	BRICK VENEER:	777 S.F. =	59%
	STONE VENEER:	315 S.F. =	24%
	CAST STONE:	43 S.F. =	3%
	<u>STUCCO:</u>	186 S.F. =	14%
		1,321 S.F. =	100%
•	EAST ELEVATION		
	MASONRY: 1,223 S.F.		
	BRICK VENEER:	757 S.F. =	62%
	STONE VENEER:	330 S.F. =	27%
	CAST STONE:	36 S.F. =	3%
	<u>STUCCO:</u>	100 S.F. =	8%
		1,223 S.F. =	100%
•	SOUTH ELEVATION		
	MASONRY: 1,348 S.F.		
	BRICK VENEER:	785 S.F. =	58%
	STONE VENEER:	328 S.F. =	25%
	CAST STONE:	44 S.F. =	3%
	<u>STUCCO:</u>	189 S.F. =	14%
		1,348 S.F. =	100%
•	WEST ELEVATION		
	MASONRY: 1,020 S.F.		
	BRICK VENEER:	563 S.F. =	55%
	STONE VENEER:	321 S.F. =	32%
	CAST STONE:	54 S.F. =	5%
	<u>STUCCO:</u>	82 S.F. =	8%
		1,020 S.F. =	100%

McDERMOTT BANQUET HALL
SE CORNER OF McDERMOTT & CUSTER
ALLEN, TEXAS

Sheet No:
A4.01



PD AMENDMENT ELEVATIONS
MCDERMOTT BANQUET HALL
LOT 1, BLOCK A, CUSTER/MCDERMOTT ADDITION
1.04 ACRES
MCDERMOTT COMMONS SHOPPING CENTER
CITY OF ALLEN, COLLIN COUNTY
SUBMITTED: JUNE 20, 2019