

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, AMENDING THE ALLEN LAND DEVELOPMENT CODE ZONING REGULATIONS AND ZONING MAP, AS PREVIOUSLY AMENDED, BY AMENDING THE REGULATIONS RELATING TO THE DEVELOPMENT AND USE OF 1.168± ACRES OUT OF THE JOHN FYKE SURVEY, ABSTRACT NO. 325, LOCATED IN DISTRICT H OF PLANNED DEVELOPMENT “PD” NO. 108 MIXED USE “MIX” AND ADOPTING A CONCEPT PLAN, LANDSCAPE PLAN, AND BUILDING ELEVATIONS; PROVIDING FOR A CONFLICTS RESOLUTION CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A SAVINGS CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Allen, Texas, in compliance with the laws of the State of Texas and the Ordinances of the City of Allen, Texas, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally and to all persons interested and situated in the affected area, and in the vicinity thereof, and in the exercise of its legislative discretion, the City Council has concluded that the Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as previously amended, should be further amended as follows.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, THAT:

SECTION 1. The Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as amended, be further amended by amending, as set forth in Section 2 of this Ordinance, the regulations relating to the development and use of 1.168± acres located in the John Fyke Survey, Abstract No. 325 (“the Property”) described in “Exhibit A,” attached hereto and incorporated herein by reference, and located in District H of Planned Development “PD” No. 108 Mixed-Use “MIX”.

SECTION 2. The Property shall be developed and used only in accordance with the applicable provisions of the Allen Land Development Code, as amended (“ALDC”) and District H of Planned Development “PD” No. 108 as set forth in Ordinance No. 3044-10-11, as amended, and in Ordinance No. 3094-7-12, as amended (collectively “the PD 108 Ordinance”), except to the extent modified by the Development Regulations set forth below:

- A. CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit “B,” and incorporated herein by reference (the “Concept Plan”). Minor modifications to streets/driveways that do not alter the general alignment shown on the Concept Plan may be made at the time of Site Plan approval.
- B. BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the architectural style set forth on the Building Elevations attached hereto as Exhibit “C.”
- C. PERMITTED USES:** In addition to the uses permitted within District H of Planned Development “PD” No. 108, the Property may be used and developed as a “Daycare.”

D. LANDSCAPING:

- (1) Detail 5 “Stockton & Bossy Boots Landscape Feature Plan” of Exhibit “C” “Concept Plan Details” as adopted by Ordinance No. 3094-7-12 is amended to reduce the radii from 72 feet to 51 feet, as shown in the Concept Plan; and
- (2) The Property shall be developed in general conformance with the Landscape Plan attached hereto as Exhibit “D,” and incorporated herein by reference (the “Landscape Plan”).

E. DRAINAGE: The onsite drainage generated from the full development of the Property as provided in this Ordinance must be conveyed to the existing outfall on the eastern side of the adjacent property through (1) a drainage easement dedicated at the time of final plat of the Property and prior to issuance of any development permits for the Property and (2) a combination of underground and surface facilities.

F. TRAFFIC IMPROVEMENTS: The hooded left-hand turn lane on Stockton Drive as shown on the Concept Plan shall be constructed and completed prior to issuance of a Certificate of Occupancy for any building constructed on the Property.

SECTION 3. To the extent of any irreconcilable conflict with the provisions of this Ordinance and other ordinances of the City of Allen governing the use and development of the Property and which are not expressly amended by this Ordinance, the provisions of this Ordinance shall be controlling.

SECTION 4. Should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance, or of the Allen Land Development Code, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said Ordinance or the Allen Land Development Code, as amended hereby, which shall remain in full force and effect.

SECTION 5. An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Allen Land Development Code Zoning Regulations, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 6. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in Allen Land Development Code Zoning Regulations as previously amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense.

SECTION 7. This Ordinance shall take effect immediately from and after its passage and publication of the caption in accordance with the provisions of the Charter of the City of Allen, and it is accordingly so ordained.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, ON THIS THE 10TH DAY OF DECEMBER 2019.

APPROVED:

Stephen Terrell, Mayor

APPROVED AS TO FORM:

ATTEST:

Peter G. Smith, City Attorney
(kbl:11/19/19:112262)

Shelley B. George, City Secretary

EXHIBIT "A"
DESCRIPTION OF PROPERTY

Being all that certain lot, tract or parcel of land located in the JOHN FYKE SURVEY, ABSTRACT NO. 325, City of Allen, Collin County, Texas, and being part of a tract of land described in deed to Twin Creeks Business Park Inc., recorded in Instrument No. 20120731000930950, Official Public Records, Collin County, Texas, and being more particularly described as follows:

BEGINNING at an "X" set in a concrete Street, at the intersection of the Northeast line of Bossy Boots Drive, an 80' right-of-way, with Northwest line of Stockton Drive, an 80' right-of-way;

Thence North 32°48'07" West, along said Northeast line, a distance of 170.75' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner;

Thence North 57°11'53" East, passing through said Twin Creek tract, a distance of 160.00' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner;

Thence North 44°57'43" East, continuing through said tract, a distance of 116.00' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner;

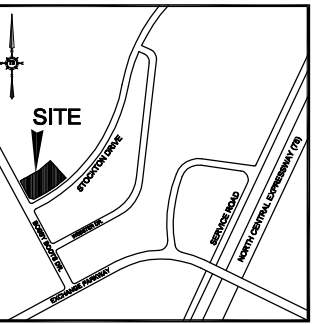
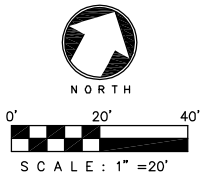
Thence South 46°49'39" East, continuing through said tract, a distance of 175.00' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set in the said Northwest line of Stockton Drive, said point being the beginning of a non-tangent curve to the right having a central angle of 13°14'57", a radius of 960.00' and a chord bearing and distance of South 50°34'25" West, 221.50';

Thence Southwesterly, along said Northwest line and said curve to the right, an arc distance of 221.99' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner;

Thence South 57°11'53" West, continuing along said Northwest line, a distance of 95.76' to the PLACE OF BEGINNING and containing 50,891 square feet or 1.168 acres of land.

EXHIBIT “B”
CONCEPT PLAN

LEGEND	
BUILDING SETBACK	BS
LANDSCAPE BUFFER	LB
PROPOSED FIRE LANE	
PROPOSED OPEN SPACE	
EX. BOUNDARY	
EX. CURB	
EX. FIRE HYDRANT	⊙ FH
EX. STORM SEWER	— EX. 24" RCP —
EX. STORM INLET	⊠
PROPOSED FENCE	— x —
BOUNDARY LINE	---
PROPOSED CURB	---
PROP. SAW-CUT	---
PROP. HANDICAP SIGN	♿
PROP. HANDICAP LOGO	♿
PIPE BOLLARD	•



GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ALLEN.
2. A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
3. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
4. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
5. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS", VOL. 29, SUBPART P. PG. 128 - 137, AND ANY AMENDMENTS THERETO.
6. ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
7. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
8. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
9. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

SITE DATA SUMMARY CHART

EXISTING ZONING	PD-108 / MIXED USE MIX
PROPOSED USE	DAYCARE
PROPOSED BASE ZONING DISTRICT	DISTRICT-H
GROSS ACREAGE	1.168 ACRES OR 50,891 S.F.
BUILDING SQUARE FOOTAGE	9,289 S.F.
LOT COVERAGE	19.31%
FLOOR AREA RATIO	0.19
MAXIMUM HEIGHT	33'-1 1/8" (1 STORY)
REQUIRED LANDSCAPE AREA	15.00% OR 0.18 ACRE
PROPOSED LANDSCAPE AREA	26.41% OR 0.31 ACRE
PARKING RATIO PER USE	10 PLUS 2 PER CLASSROOM
PARKING REQUIRED	30
PARKING PROVIDED	42
BUILDING SETBACKS	10' FRONT, SIDE & REAR
LANDSCAPE SETBACK	25' SIDE MAX. (BOSSY BOOTS ONLY)
LANDSCAPE FEATURE AREA REQ'D.	10' FRONT & 15' SIDE
LANDSCAPE FEATURE AREA PRV'D.	72' FROM R.O.W. CORNER
	51' FROM R.O.W. CORNER

"NO PROTECTED TREES ON SITE"

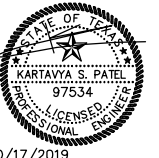
PD/PD AMENDMENT CONCEPT PLAN
THE GODDARD SCHOOL
1.168 ACRES OF LAND BEING PART OF
JOHN FYKE SURVEY
ABSTRACT NO. 325
CITY OF ALLEN
COLLIN COUNTY, TEXAS
SEPTEMBER 25th, 2019



T: 214.609.9271 | F: 469.358.6709 | E: kpatel@triangle-engr.com
W: triangle-engr.com | O: 1784 W. McDermott Drive, Suite 110, Allen, TX 75013

Planning | Civil Engineering | Construction Management

DESIGN/DRAWN	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	TT	09/25/19	076-19	CP



NO.	DATE	DESCRIPTION	BY
1	09/25/19	1ST PD AMENDMENT SUBMITTAL	KP
2	10/17/19	2ND PD AMENDMENT SUBMITTAL	KP

OWNER TWIN CREEKS BUSINESS PARKS, INC. 300 TWIN CREEK DRIVE ALLEN, TEXAS 75013 CONTACT: CHARLES C. NIES TEL: 972-390-1190	DEVELOPER TRIANGLE DEVELOPMENT & MANAGEMENT SERVICES 1784 W. McDERMOTT DRIVE, SUITE 110 ALLEN, TEXAS 75013 CONTACT: KEVIN PATEL, P.E. TEL: 214-609-9271	ENGINEER TRIANGLE ENGINEERING LLC TXPE FIRM # 11525 1784 W. McDERMOTT DRIVE, SUITE 110 ALLEN, TEXAS 75013 CONTACT: KEVIN PATEL, P.E. TEL: 469-331-8566	SURVEYOR A&W SURVEYORS, INC. P.O. BOX 870029 2220 GUS THOMASSON ROAD MESQUITE, TEXAS 75187 CONTACT: JOHN S. TURNER TEL: 972-681-4975
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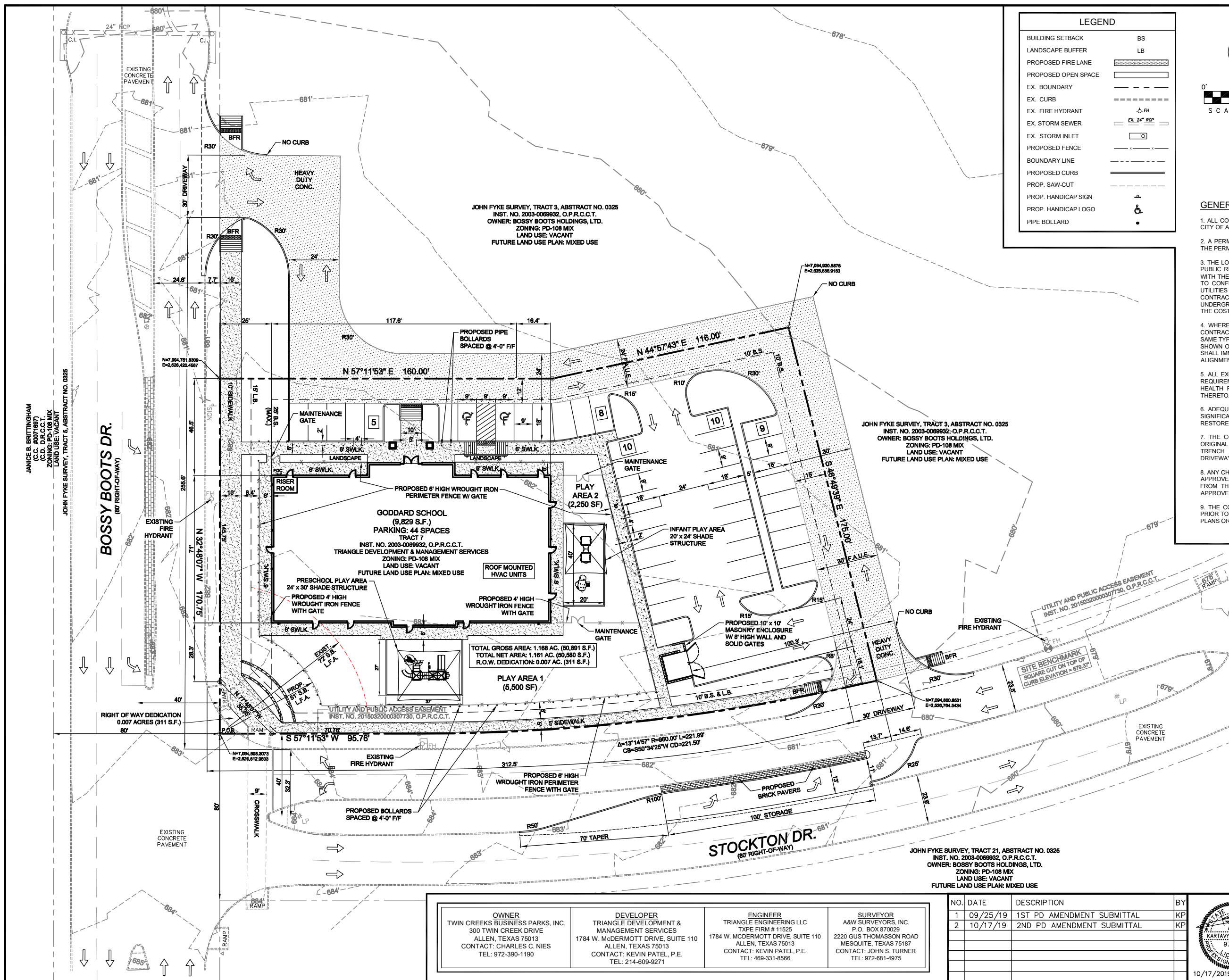
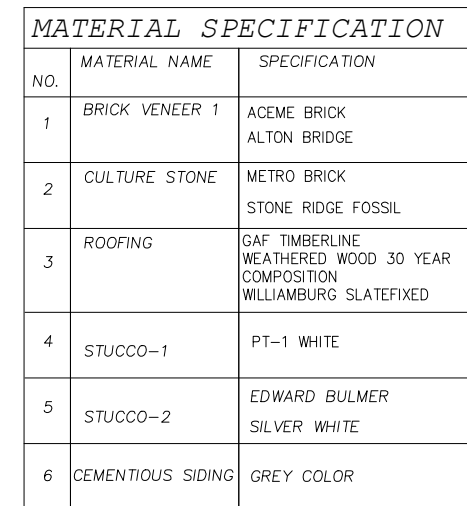


EXHIBIT “C”
BUILDING ELEVATIONS



	NORTH	UNIT	%	WEST	UNIT	%	SOUTH	UNIT	%	EAST	UNIT	%
TOTAL FACADE AREA (SF)	1872.835	SF		1172.739	SF		1702.826	SF		1070.462	SF	
DOOR/WINDOWS	370.271	SF	—	149.817	SF	—	283.275	SF	—	160.333	SF	—
FACADE AREA (SF) MINUS DOORS/WINDOWS	1502.564	SF	100	1022.922	SF	100	1419.551	SF	100	910.128	SF	100
BRICK VENEER	696.922	SF	46.382	603.890	SF	59.036	1049.911	SF	73.961	557.018	SF	61.202
BRICK SOLDIER COURSE	76.139	SF	5.067	60.328	SF	5.898	112.211	SF	7.905	60.328	SF	6.629
CULTURAL STONE	356.952	SF	23.756	99.351	SF	9.712	5,519	SF	0.389	35,571	SF	3.908
STONESILL	43.115	SF	2.869	24.210	SF	2.367	40.491	SF	2.852	22.048	SF	2.423
STUCCO	293.240	SF	19.517	213.480	SF	20.870	211.420	SF	14.893	213.500	SF	23.458
CEMENTITIOUS SIDING	36.196	SF	2.409	21.664	SF	2.117				21.664	SF	2.380



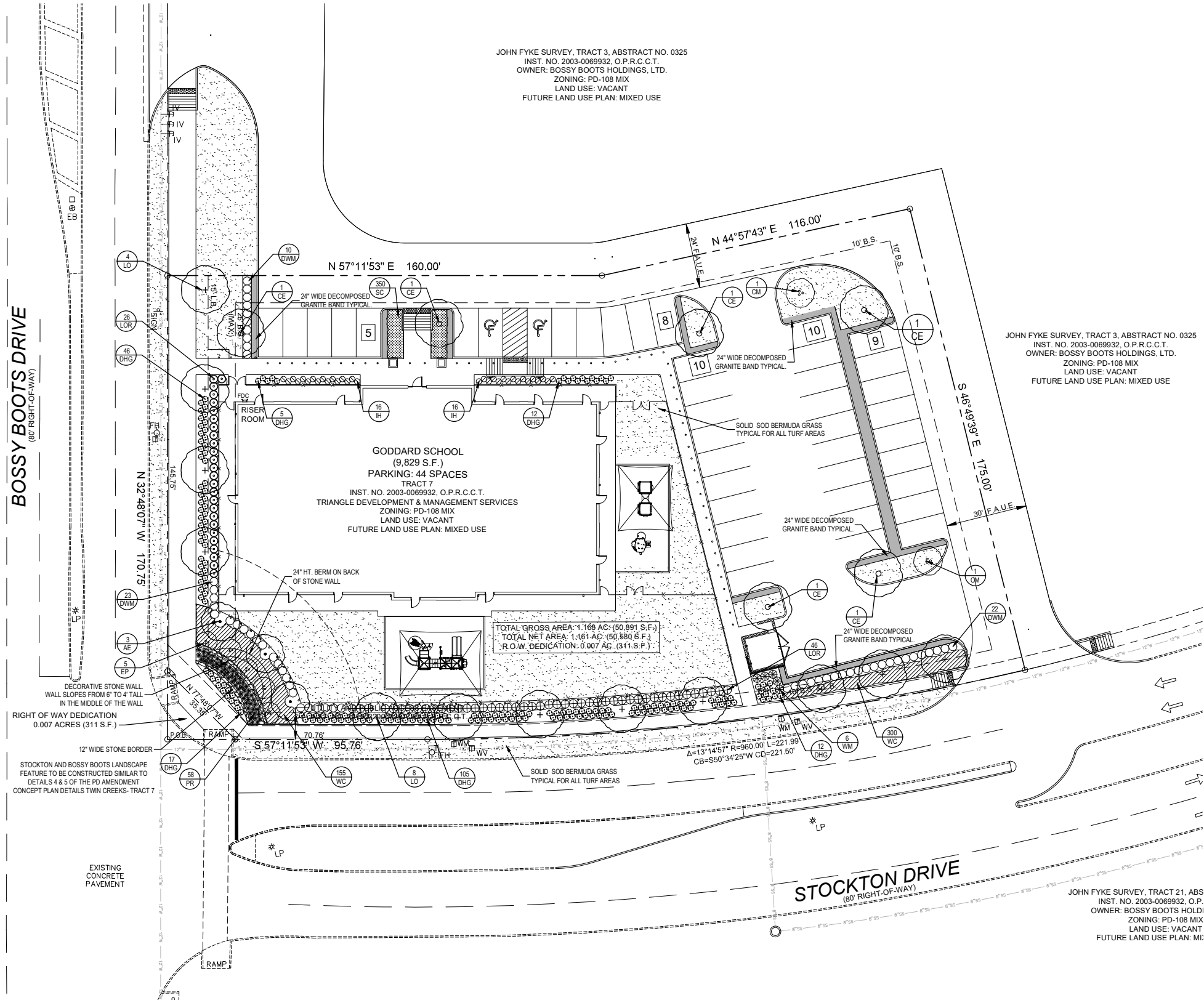
NOTE : THE DUMPSTER ENCLOSURE ELEVATIONS SHALL MATCH THE BUILDING MATERIALS.

THE ENTRANCE OF THE BUILDING SHALL BE ACCENTED WITH BOTH FINISHES AND PLANTING TO VISUALLY READ AS AN ENTRY STATEMENT.

ALL THE CORNER EDGE SHALL BE ROUNDED/EASED EDGES.

ALL DOWNSPOUTS SHALL BE CONNECTED TO STORM WATER DRAIN.

EXHIBIT “D”
LANDSCAPE PLAN



GENERAL LAWN NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
5. ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
6. ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
7. CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

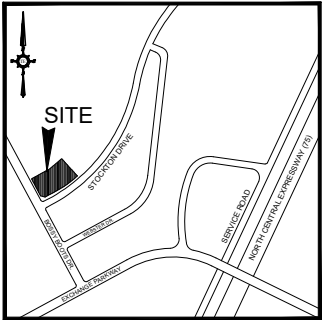
SOLID SOD NOTES

1. FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
2. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
3. ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
4. CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
5. PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
6. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
7. WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
8. CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
9. CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
10. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
AE	3	Allee Elm	<i>Ulmus parvifolia</i> 'Elmer II'	3.5" cal.	container, 13' ht., 5' spread, 5' clear straight trunk
CE	6	Cedar Elm	<i>Ulmus crassifolia</i>	3.5" cal.	B&B, 13' ht., 5' spread min., 5' clear straight trunk
CM	2	Crape Myrtle 'Dallas Red'	<i>Lagerstroemia indica</i> 'Dallas Red'	3" cal.	container, 5' trunks, tree form, 5' spread
EP	5	East Palatka Holly	<i>Ilex x attenuata</i> 'East Palatka'	3" cal.	container, 8' ht., 4" spread, tree form
LO	12	Live Oak	<i>Quercus virginiana</i>	3.5" cal.	container, 13' ht., 5' spread, 5' clear straight trunk
SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DHG	197	Dwarf Hameln Grass	<i>Pennisetum alopecuroides</i> 'Hameln'	5 gal.	container full, well rooted
DWM	55	Dwarf Wax Myrtle	<i>Myrica pauciflora</i>	5 gal.	container, 24" ht., 20" spread
IH	32	Indian Hawthorn 'Clara'	<i>Raphiolepis indica</i> 'Clara'	5 gal.	container full, well rooted
LOR	72	Loropetalum 'Ruby'	<i>Loropetalum chinense</i> 'Ruby'	5 gal.	container, 24" ht., 24" spread
PR	58	Prostrate Rosemary	<i>Rosemarinus officinalis</i> 'Prostratus'	1 gal.	container full, well rooted, 12" o.c.
WM	6	Wax Myrtle	<i>Myrica cerifera</i>	48" ht.	container, 48" ht., 36" spread, 6" o.c.
GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
SC	350	Seasonal Color	<i>Enonymus fortunei</i>	4" pots	selection by owner, container, 10" o.c.,
WC	455	Winter Creeper	<i>Cynodon dactylon</i> '419'	4" pots	container, 3-12" runners min., 12" o.c.
		'419' Bermudagrass			Solid Sod refer to notes

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



VICINITY MAP
NOT TO SCALE

LANDSCAPE NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
2. CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
3. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
4. CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
5. ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
6. ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
7. ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

LANDSCAPE TABULATIONS

TOTAL SITE AREA (50,891 s.f.)		
Requirements: 10% of total site area to be landscaped		
Required	Provided	
5,089 s.f. (10%)	7,052 s.f. (40%)	not including playground areas

STREET FRONTAGE

Requirements: Street frontage, one (1) shade tree, 3.5" cal. per 30 l.f. of street frontage.

BOSSY BOOTS DRIVE (170.90 l.f.)

Required	Provided
(6) trees, 3.5" cal.	(6) trees, 3.5" cal.

STOCKTON DRIVE (222 l.f.)

Required	Provided
(8) trees, 3.5" cal.	(8) trees, 3.5" cal.

PARKING LOT (33 spaces)

Requirements: One (1) shade tree and one (1) ornamental tree for every 30 parking spaces. No parking space shall be more than 50 feet from any tree. A headlight screen shall be provided by means of shrubs or berm.

Required	Provided
(1) trees, 3" cal.	(6) trees, 3" cal.
(1) ornamental trees	(2) ornamental trees
24" ht. screen	24" ht. evergreen screen

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR., SUITE 110
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



10.18.2019

GODDARD SCHOOL

BOSSY BOOTS DRIVE
ALLEN, TEXAS

ISSUE:

FOR APPROVAL 09.26.2019

CITY COMMENTS 10.18.2019

DATE:

10.18.2019

SHEET NAME:

LANDSCAPE PLAN

SHEET NUMBER:

L.1

OWNER TWIN CREEKS BUSINESS PARKS, INC. 300 TWIN CREEK DRIVE ALLEN, TEXAS 75013 CONTACT: CHARLES C. NIES TEL: 972-390-1190	DEVELOPER TRIANGLE DEVELOPMENT & MANAGEMENT SERVICES 1784 W. McDERMOTT DRIVE, SUITE 110 ALLEN, TEXAS 75013 CONTACT: KEVIN PATEL, P.E. TEL: 214-609-9271	ENGINEER TRIANGLE ENGINEERING LLC TXPE FIRM # 11525 1784 W. McDERMOTT DRIVE, SUITE 110 ALLEN, TEXAS 75013 CONTACT: KEVIN PATEL, P.E. TEL: 469-331-8566	SURVEYOR A&W SURVEYORS, INC. P.O. BOX 870029 2220 GUS THOMASSON ROAD MESQUITE, TEXAS 75187 CONTACT: JOHN S. TURNER TEL: 972-681-4975
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EXHIBIT “D”
LANDSCAPE PLAN cont.

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs, and grass)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and Maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock, published by American Association of Nurserymen 27 October 1980, Edition, by American National Standards Institute, Inc. (Z60.1) – plant material.
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards.
- D. Hortis Third, 1976 – Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- | | |
|----|--|
| A. | The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project. |
| B. | Samples: Provide representative quantities or sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project. |
| C. | Product Data: Submit complete product data and specifications on all other specified materials. |
| D. | Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials. |
| E. | File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required. |
| F. | Soil Analysis: Provide sandy loam soil analysis if requested by the Architect. |

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A.** Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B.** All planting areas shall be conditioned as follows:
1. Prepare new plant beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturers recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer (EasTone or Green Seal) at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for trees shall be as follows: Use existing top soil on site (use imported topsoil as needed) from the planting area. Backfill with 50% native, subsoils, etc., placed in nine (9") inch layers and watered thoroughly.
- C. GRASS AREAS:**
1. Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 2. Areas to be Hybridomum Common Bermudagrass: Hybridomulch with bermudagrass sods at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' pallet and spreader to apply the seed.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site shall be well protected against the possibility of drying out by the use of a coating of 8 & 8 plants shall be well covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that when plants are placed in them they will bear the same relationship to the finish grade as if do soil surface original place of growth.

3 CONDITIONS

- A. General Contractor to complete the following punch list. Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting beds in areas 3, 4 and 5 (3" inches below finished grade of sidewalks, drives and curbs as shown on the drawings). All lawn areas to receive solid sod shall be left one (1") inch below the finished grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- R. General Contractor shall provide topsoil as described in Section 02200 - Earthwork
- C. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- | | | |
|---|--|--|
| A | Maintenance: | |
| | <ol style="list-style-type: none"> The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions. Maintenance shall include watering of trees and plants, cultivation, weeding, spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance. After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work. | |
| B | Guarantee: | |
| | <ol style="list-style-type: none"> Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including materials which have already died due to frost, drought, size or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final. <ol style="list-style-type: none"> Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including roots in lawn or of areas, incurred as a result of making replacements shall be immediately repaired. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and inspected for full compliance with Contract requirements. All replacements are to be included under "Work of the Contractor". | |

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
 2. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 3. Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultural/variety, size and quality.
 4. Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition or root cuts, limbs, branching habit, insects, injuries, and latent defects.
 5. Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

- Sandy Loam:**
1. Frieable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dalgassera or Nulgassera shall be rejected.
 2. Physical properties as follows:
 - Clay - between 7-27 percent
 - Silt - between 15-25 percent
 - Sand - less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material:** Compost with a mixture of 50% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- C. Premixed Boding Soil** as supplied by Vital Earth Resources, Gladewater, Texas; Professional Boding Soil as supplied by Living Earth Technology, Dallas; or Acid Green Municipal Mix as supplied by Soil Reclaiming Systems, Dallas, Texas or approved equal.
- D. Sharp Sand:** Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch:** Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer:** Fertilizer, Sphagnum, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- A. Commercial fertilizer:** 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron plus micronutrients.
- B. Peat:** Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: Shall be Ryerson "Catala Curbing", 10" x 4" with stakes 4" on center.
- B. Staking Material for Shade Trees:
- 1. Post: Studded T-Post, #1 Armo with anchor plate, 6'-0" length; paint green.
 - 2. Wire: 12 gauge, single strand, galvanized wire.
 - 3. Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- C. Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- D. Filter Fabric: Miraf 140N by Celanese Fibers Marketing Company, available at Loffland Co. (214) 631 5250 or approved equal.

02 GROUNDCOVER PLANTING DETAIL
NOT TO SCALE

SPACE PLANTS IN A TRIANGULAR PATTERNS SHOWN, SPACED EQUALLY FROM EACH OTHER AT SPACING INDICATED ON PLANT LIST.

PLANT ROW SPACING "D"	ROW SPACING "A"	PLANTS/SPOTS
8" O.C.	6.9"	26
12" O.C.	10.4"	13
15" O.C.	13.9"	7
18" O.C.	15.3"	7

2" MULCH DOUBLE SHREDDED HARDWOOD MULCH IN BED PRIOR TO PLANTING GROUNDCOVER/ANNUALS.

PREPARE GROUNDCOVER BED BY TILLING ENTIRE BED-AREA. PROVIDE SOIL MIX AS DEFINED IN THE LANDSCAPE SPECIFICATIONS

SHRUBS AND GROUNDCOVER REFER TO PLANS FOR PLANTING

PREPARED SOIL MIX PER SPECIFICATIONS

MULCH PER SPECIFICATIONS

1/8" X 4" GREEN STEEL EDGING WITH STAKES

1/2" MAXIMUM LAWN

NOTE: NO STEEL EDGING TO BE INSTALLED ALONG SIDEWALKS

04 STEEL EDGING DETAIL
NOT TO SCALE

01 TREE PLANTING DETAIL NOT TO SCALE

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

END OF SECTION

LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
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09.26.2019

GODDARD SCHOOL

**BOSSY BOOTS DRIVE
ALLEN, TEXAS**

ISSUE:

FOR APPROVAL 09.26.19

DATE:

09.26.2019

SHEET NAME:

LANDSCAPE SPECIFICATIONS

SHEET NUMBER:

L.2