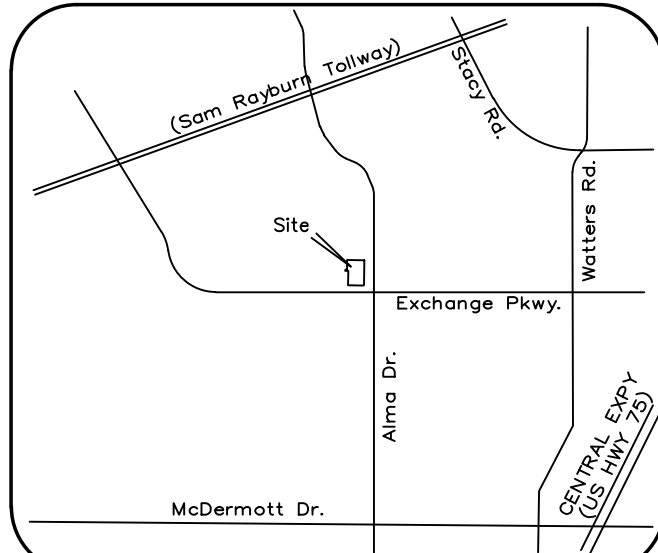
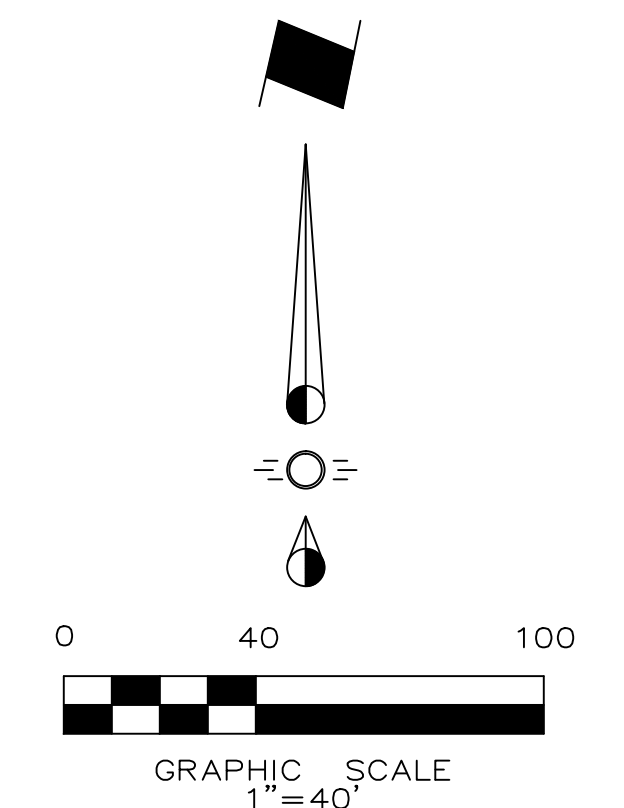


COORDINATE NOTE:

The coordinates shown, horizontal and vertical position are derived from Texas WDS RTK Network, Texas State Plane Coordinates System, Nad83, North Central Zone, (4202) Nad 83 (CORS96) Epoch 2002.0, Vertical position are referenced to NAVD88 using (GEOID03).

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	67°36'32"	100.00'	118.00'	S 56°38'43" W	111.27'
C2	64°25'54"	100.00'	112.45'	S 55°03'12" W	106.62'
C3	61°55'43"	9.99'	10.80'	N 31°38'51" E	10.28'
C4	60°03'28"	10.00'	10.48'	S 29°04'44" E	10.01'



VICINITY MAP  
NTS

LINE	BEARING	DISTANCE
L1	N 89°39'45" W	15.41'
L2	S 22°50'15" W	33.45'
L3	N 88°48'03" E	23.66'
L4	N 00°56'57" E	8.38'
L5	N 45°56'57" E	22.97'
L6	N 00°56'57" E	110.27'
L7	N 45°56'57" E	12.14'
L8	S 89°03'03" E	10.57'
L9	S 00°56'57" W	10.00'
L10	N 89°03'03" W	6.43'
L11	S 45°56'57" W	3.86'
L12	S 00°56'57" W	45.41'
L13	S 89°03'03" E	9.16'
L14	S 00°56'57" W	10.00'
L15	N 89°03'03" W	6.43'
L16	S 45°56'57" W	3.86'
L17	S 00°56'57" W	52.12'
L18	S 45°56'57" W	22.97'
L19	S 00°56'57" W	3.87'
L20	N 88°48'03" E	6.16'
L21	N 00°56'59" E	206.80'
L22	S 89°03'01" E	24.00'
L23	S 00°56'59" W	205.69'
L24	S 88°48'03" W	34.28'
L25	S 89°03'01" E	71.90'
L26	N 00°56'59" E	9.14'
L27	S 89°03'01" E	10.00'
L28	S 00°56'59" W	9.14'
L29	N 89°03'01" W	10.00'
L30	S 89°03'01" E	2.77'
L31	N 00°56'19" E	19.35'
L32	S 88°48'56" E	10.61'
L33	S 00°56'19" W	19.90'
L34	N 89°03'01" W	10.61'
L35	N 88°48'03" E	10.01'

FLOOD NOTE:

Said described property is located within an area having a Zone Designation "X" (Unshaded) by the Secretary of Housing and Urban Development, on Flood Insurance Rate Map No. 48085C0380K, with a date of identification of June 7, 2017, for Community Number 480131, in Denton County, State of Texas, which is the current Flood Insurance Rate Map for the community in which the Premises is situated.

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	67°36'32"	100.00'	118.00'	S 56°38'43" W	111.27'
C2	64°25'54"	100.00'	112.45'	S 55°03'12" W	106.62'
C3	61°55'43"	9.99'	10.80'	N 31°38'51" E	10.28'
C4	60°03'28"	10.00'	10.48'	S 29°04'44" E	10.01'

SHEET 1 OF 2  
REPLAT

KIDS R KIDS ADDITION  
BLOCK A, LOTS 1R1, 5, & 6

Being A Replat Of  
Kids R Kids Addition, Lot 1R, Block A  
Recorded In Volume 2013, Page 77, P.R.C.C.T.

5.511 Acres Situated In The  
MARY STANDIFER SURVEY ~ ABST. 812  
ALLEN, COLLIN COUNTY, TEXAS

Owners

Simplicity Capital, LLC  
3308 Preston Road, Suite 350, #243  
Plano, TX 75093  
214-288-9288

Lidl US Operations LLC  
3500 S. Clark Street  
Arlington, VA 22202-4045  
844-747-5435

Surveyor

Surdukan Surveying, Inc.  
PO Box 126  
Anna, Texas 75409  
Telephone 972 924-8200

REVISION DATE NOVEMBER 7, 2019  
OCTOBER 23, 2019

PURPOSE OF REPLAT:

To divide Lot 1R into 3 lots.

NOTICE:  
Selling any portion of this addition by metes and bounds is a violation of City Ordinance and State laws, and is subject to fines and withholding of utilities and building permits.

OWNERS CERTIFICATE

STATE OF TEXAS  
COUNTY OF COLLIN

WHEREAS, Simplicity Capital, LLC and Lidl US Operations LLC, are the owners of a tract of land situated in the Mary Standifer Survey, Abstract No. 812, City of Allen, Collin County, Texas, and being all of Lot 1R, Block A, Kids R Kids Addition, Lots 1R, 3 & 4, Block A, an addition to the City of Allen as recorded in Volume 2013, Page 77, Plat Records of Collin County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" capped iron found for corner at the northeast end of a corner clip at the intersection of the west line of Alma Drive (a variable width R.O.W.) with the north line of Exchange Parkway (a variable width R.O.W.);  
THENCE S45°33'47"W, along said corner clip, a distance of 21.13 feet to a 1/2" capped iron found for corner in the north line of Exchange Parkway;  
THENCE N89°12'21"W, with the north line of Exchange Parkway, a distance of 367.63 feet to a 1/2" capped iron found for corner, said point being the southeast corner of Lot 3, Block A, of Kids R Kids Addition, Lots 1R, 3 & 4, Block A;  
THENCE N00°57'00"E, leaving Exchange Parkway, and with the east line of said Lot 3, Block A, a distance of 342.96 feet to a "X" cut found for corner;  
THENCE N89°03'00"W with the north line of said Lot 3, Block A, a distance of 71.95 feet to a "X" cut found for corner;  
THENCE N00°20'20"E a distance of 30.20 feet to a 1/2" capped iron found for corner;  
THENCE S89°03'00"E a distance of 38.98 feet to a 1/2" capped iron found for corner;  
THENCE N00°20'20"E a distance of 233.47 feet to a "X" cut found for corner;  
THENCE S89°03'00"E, a distance of 411.94 feet to a 1/2" capped iron found for corner in the aforementioned west line of Alma Drive;  
THENCE S00°20'15"W, with the west line of Alma Drive, a distance of 590.61 feet to the POINT OF BEGINNING and CONTAINING 240,078 Square Feet or 5.511 Acres of land.

BASIS OF BEARINGS:  
The bearings shown are based on the final plat of the Kids R Kids Addition as recorded in Cabinet 2009, Page 65, Plat Records of Collin County, Texas.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That, Simplicity Capital, LLC and Lidl US Operations LLC, through the undersigned authorities, do hereby adopt this plat designating the described property as a replat of Kids R Kids Addition, Block A, Lots 1R1, 5, & 6, an addition to the City of Allen, Texas, and do hereby dedicate to the public use forever the streets and alleys thereon; and do hereby dedicate the easement strips shown on the plat for mutual use and accommodation of all public utilities desiring to use, or using same. No buildings, fences, trees, shrubs, or other improvements shall be constructed or placed upon, over or across the easement strips on said plat. Any public utility shall have the right to remove and keep removed all or part of any buildings, fences, trees, shrubs, or other improvements, or growths which in any way endanger or interfere with the construction, maintenance or efficiency of its respective system on any of these easement strips, and any public utility shall at all times have the right of ingress and egress to and from and upon any of said easement strips for the purpose of construction, reconstruction, inspecting, patrolling, maintaining and adding to or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone. This plat is approved subject to all platting ordinances, rules, regulations, and resolutions of the City of Allen, Texas.

-----  
Lidl US Operations LLC  
Laurent Toussaint, Senior Director of Real Estate  
Date

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for State of Texas, on this day personally appeared Laurent Toussaint, known to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

-----  
Notary Public in and For the State of Texas  
My commission expires

-----  
Simplicity Capital, LLC  
Robert D. Frick, President  
Date

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for State of Texas, on this day personally appeared Robert D. Frick, known to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

-----  
Notary Public in and For the State of Texas  
My commission expires

APPROVED

-----  
Chairperson  
Planning & Zoning Commission

-----  
Date

Executed Pro-forma

-----  
Mayor

ATTEST

-----  
Secretary  
Planning & Zoning Commission

-----  
Date

-----  
Date

The undersigned, the City Secretary of the City of Allen, Texas, hereby certifies that the foregoing Replat of KIDS R KIDS, Block A, Lots 1R1, 5 & 6, an Addition to the City of Allen was submitted to the Planning and Zoning Commission and approved by it on the \_\_\_\_day of \_\_\_\_\_, 2019.

-----  
City Secretary, City of Allen

SURVEYOR'S CERTIFICATE

I, DAVID J. SURDUKAN, Registered Professional Land Surveyor, do hereby certify that I prepared this plat from an actual and accurate survey of the land and that the corner monuments shown thereon shall be properly placed, under my personal supervision, in accordance with the subdivision regulations of the City of Allen, Texas.

Dated this day \_\_\_\_\_ of \_\_\_\_\_, 2019.

-----  
David J. Surdukan  
Registered Professional Land Surveyor  
Texas Registration No. 4613

STATE OF TEXAS  
COUNTY OF COLLIN

BEFORE ME, the undersigned authority, a Notary Public in and for State of Texas, on this day personally appeared DAVID J. SURDUKAN, known to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed.  
GIVEN UNDER MY HAND AND SEAL OF OFFICE, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

-----  
Notary Public in and For the State of  
My commission expires \_\_\_\_\_

SHEET 2 OF 2  
REPLAT

## KIDS R KIDS ADDITION BLOCK A, LOTS 1R1, 5, & 6

Being A Replat Of  
Kids R Kids Addition, Lot 1R, Block A  
Recorded In Volume 2013, Page 77, P.R.C.C.T.

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REVISION DATE NOVEMBER 7, 2019  
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