

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, AMENDING THE ALLEN LAND DEVELOPMENT CODE ZONING REGULATIONS AND ZONING MAP, AS PREVIOUSLY AMENDED, RELATING TO THE USE AND DEVELOPMENT OF LOT 1, BLOCK Y, TWIN CREEKS PHASE 7A-1 AND PRESENTLY ZONED PLANNED DEVELOPMENT “PD” NO. 54 FOR MEDIUM DENSITY SINGLE FAMILY “MDSF” BY CHANGING THE BASE ZONING TO SINGLE-FAMILY RESIDENTIAL “R-6” AND ADOPTING DEVELOPMENT REGULATIONS, A CONCEPT PLAN, AND BUILDING ELEVATIONS; PROVIDING FOR A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Planning and Zoning Commission and the governing body of the City of Allen, Texas, in compliance with the laws of the State of Texas and the ordinances of the City of Allen, Texas, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally and to all persons interested and situated in the affected area, and in the vicinity thereof, and in the exercise of its legislative discretion, have concluded that Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as previously amended, should be amended.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, THAT:**

**SECTION 1.** The Allen Land Development Code Zoning Regulations and the Zoning Map of the City of Allen, Collin County, Texas, as previously amended, be further amended by amending in accordance with Section Two, below, the development and use regulations of Planned Development “PD” No. 54 Medium Density Single Family “MDSF” relating to the development and use of property described as Lot 1, Block Y, Twin Creeks Phase 7A-1, an addition to the City of Allen, Texas, according to the plat recorded in Cabinet Q, Page 15, Plat Records, Collin County, Texas (“the Property”).

**SECTION 2.** The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended (“ALDC”), except to the extent modified as follows:

- A. BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the use and development regulations of the Single Family “R-6” Residential District except as otherwise provided in this Ordinance.
- B. CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit “A,” and incorporated herein by reference (the “Concept Plan”). Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of plat approval.
- C. BUILDING ELEVATIONS:** Buildings to be constructed on the Property shall be developed in general conformance with the materials and architectural style set forth on the Building Elevations attached hereto as Exhibit “B,” and incorporated herein by reference, and shall be further subject to the following:

- (1) The maximum height shall be two and one-half (2.5) stories, but in no case exceeding thirty-six (36) feet.
- (2) Building Materials: For all lot types, exterior facades shall be 100% masonry except for walls over roof.
- (3) Garage doors shall be wood clad.
- (4) Driveways shall be salt-finished concrete.

**D. LOT DESIGN CRITERIA AND BUILDING SETBACKS:**

- (1) Minimum Dwelling Unit Size: 2,000 square feet (not including garage space).
- (2) Maximum Net Density: 5.0 dwelling units per acre.
- (3) The lot dimensions and building setbacks for all lots developed within the Property shall be as follows:

Minimum Lot Width	60 feet
Minimum Lot Depth	120 feet
Minimum Rear Setback	15 feet
Minimum Side Setback	Five (5) feet for one side yard and five (5) feet for the other side yard on the same lot; provided, however, side yards fronting a street shall be not less than ten (10) feet.
Garage Setback	Not less than the greater of (i) twenty (20) feet from the front lot line and (ii) twenty (20) feet from the closest edge of the sidewalk constructed in the front yard (to face of the structure).

- E. SCREENING:** Screening shall be constructed and/or installed along the boundaries of the Property in general conformance with the Concept Plan.
- F. DRAINAGE:** Lot to lot drainage is prohibited.
- G. CLUSTER MAILBOXES:** Cluster mailboxes are to be provided as shown on the Concept Plan with final location subject to approval of the United States Postal Service (USPS).
- H. DOUBLE-FRONTAGE LOTS:** Lots 1 through 9, inclusive, in Block E (located between Street F and Walnut Springs Drive) shall only have driveway access to Street F.

**SECTION 3.** To the extent of any irreconcilable conflict with the provisions of this Ordinance and other ordinances of the City of Allen governing the use and development of the Property and which are not expressly amended by this Ordinance, the provisions of this Ordinance shall be controlling.

**SECTION 4.** Should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance, or of the Allen Land Development Code Zoning Regulations, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Allen Land Development Code Zoning Regulations, as amended hereby, which shall remain in full force and effect.

**SECTION 5.** An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Allen Land Development Code Zoning Regulations, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

**SECTION 6.** Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in Allen Land Development Code Zoning Regulations of the City of Allen, as previously amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense.

**SECTION 7.** This Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Allen, and it is accordingly so ordained.

**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, ON THIS THE 9<sup>TH</sup> DAY OF MAY 2017.**

**APPROVED:**

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**Stephen Terrell, MAYOR**

**APPROVED AS TO FORM:**

**ATTEST:**

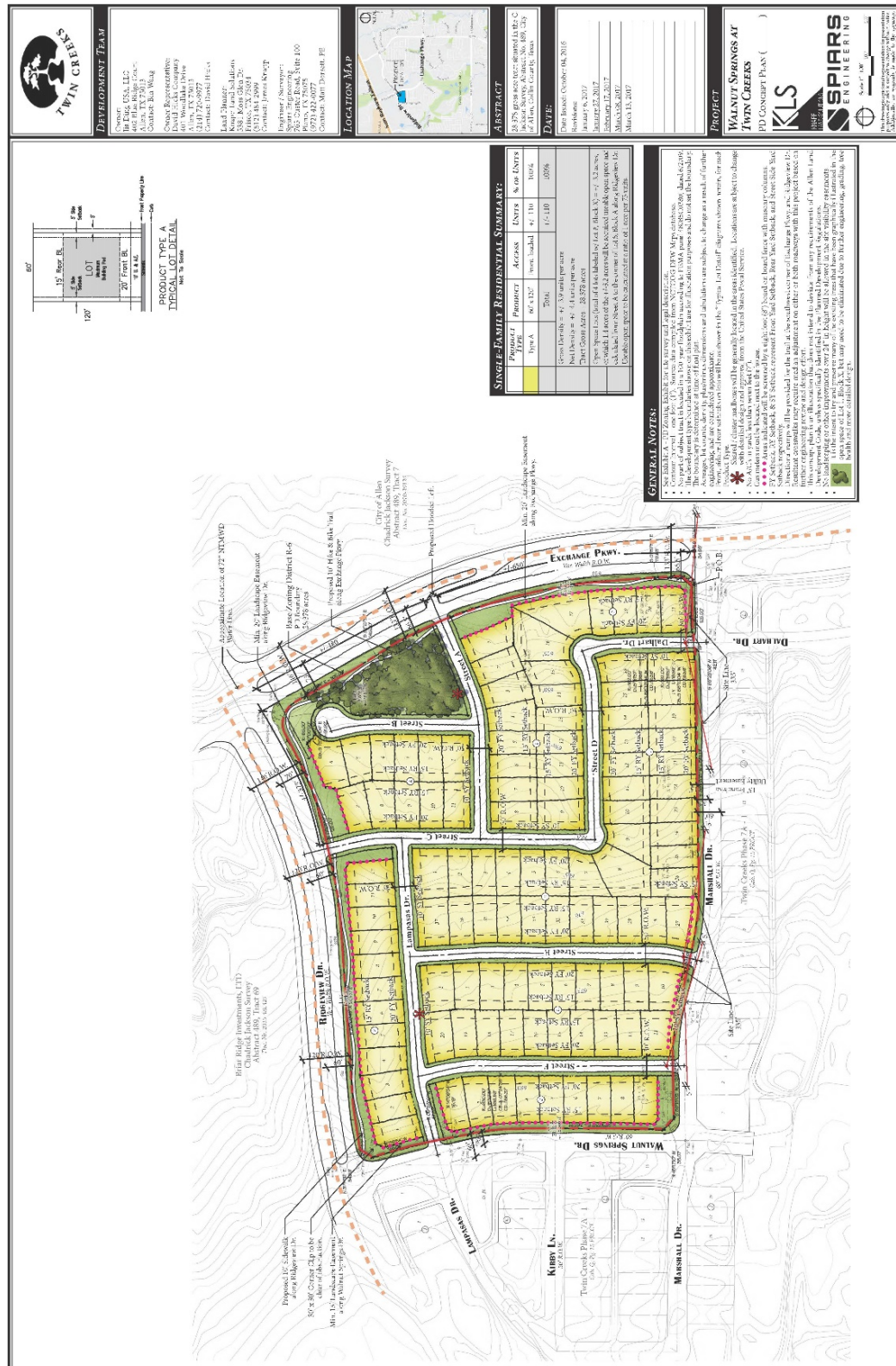
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**Peter G. Smith, CITY ATTORNEY**  
(kbl:4/27/17:85727)

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**Shelley B. George, CITY SECRETARY**

**EXHIBIT “A”**  
**CONCEPT PLAN**



**EXHIBIT “B”**  
**BUILDING ELEVATIONS**

Roof height and materials used when constructing  
a Brick finished home



Roof Height: 32' 2 7/8"

Roof Pitch: 12/12

Materials Used:

Brick

Composite and metal roofing

Cedar



**EXHIBIT “B”**  
**BUILDING ELEVATIONS CONT.**

Roof height and materials used when constructing  
a Brick and Stone finished home



Roof Height: 32' 5 1/2"

Roof Pitch: 12/12

Materials Used:

Brick and stone

Composite roofing

Cedar

**EXHIBIT “B”**  
**BUILDING ELEVATIONS CONT.**

Roof height and materials used when constructing  
a Brick and Stone finished home



Roof Height: 32' 5 1/2"

Roof Pitch: 12/12

Materials Used:

Brick and stone

Composite and metal roofing

Cedar



**EXHIBIT "B"**  
**BUILDING ELEVATIONS CONT.**

Roof height and materials used when constructing  
a Brick and Stone finished home



Roof Height: 33' 9 5/8"

Roof Pitch: 12/12

Materials Used:

Brick and stone

Composite roofing

Cedar

Disregard Chimney



**EXHIBIT "B"**  
**BUILDING ELEVATIONS CONT.**

Roof height and materials used when constructing  
a Brick and Stone finished home



Roof Height: 31' 9 5/8"

Roof Pitch: 14/12

Materials Used:

Brick and stone

Composite and metal roofing

Wrought iron

Cedar

**EXHIBIT “B”**  
**BUILDING ELEVATIONS CONT.**

Roof height and materials used when constructing  
a Brick and Stone finished home



Roof Height: 32' 8" - Extends to 36" with additional options

Roof Pitch: 12/12

Materials Used:

Brick and stone

Composite roofing

Cast stone

Wrought iron

Cedar



**EXHIBIT “B”**  
**BUILDING ELEVATIONS CONT.**

Roof height and materials used when constructing  
a Stucco finished home



Roof Height: 32' 8 3/4"

Roof Pitch: 6/12

Materials Used:

Stucco

Tile roofing

Cedar

Wrought iron



**EXHIBIT “B”**  
**BUILDING ELEVATIONS CONT.**

Roof height and materials used when constructing  
a Brick and Stone finished home



Roof Height: 25' 9"

Roof Pitch: 12/12

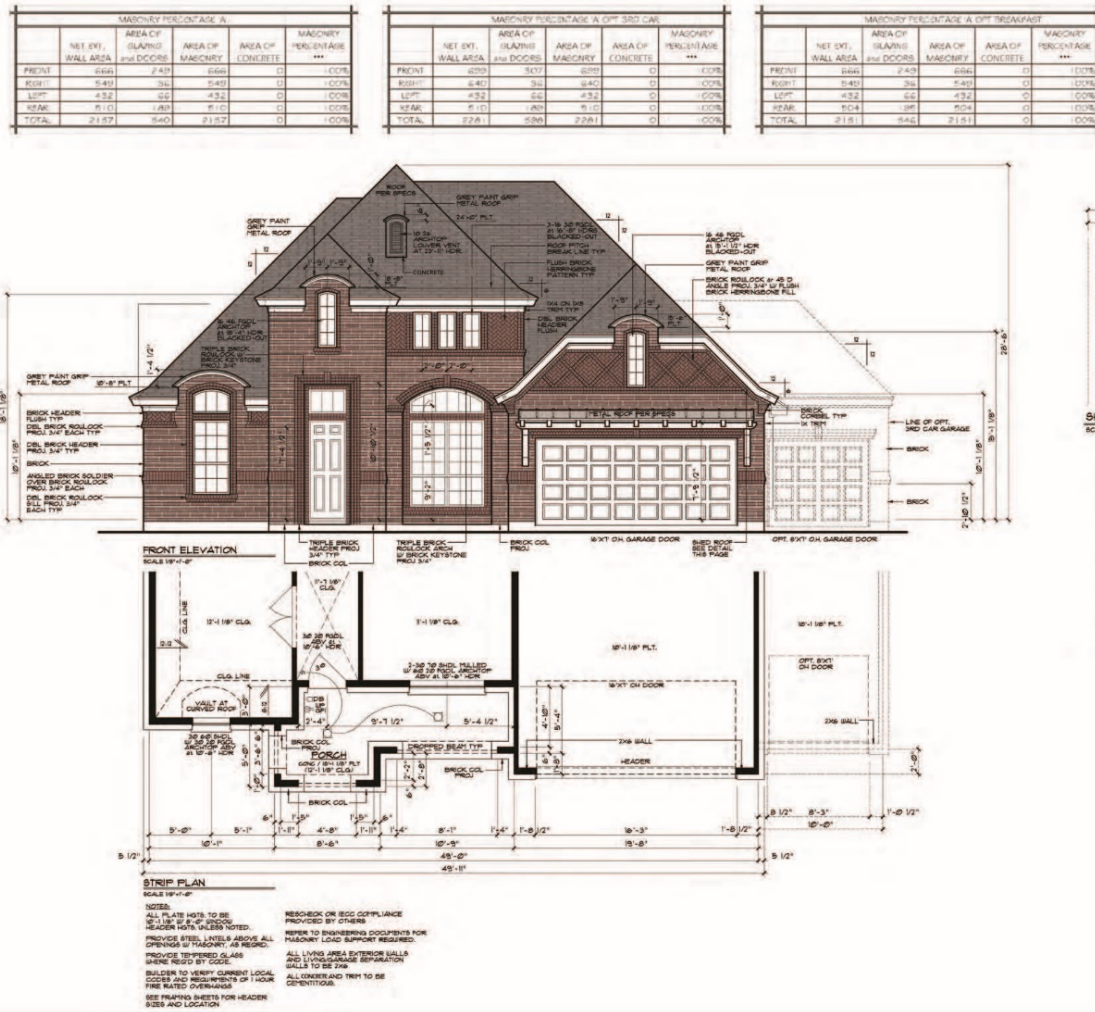
Materials Used:

Brick

Stone

Composite roofing

Cedar



PLAN 625 RFA

LONDON HOMES

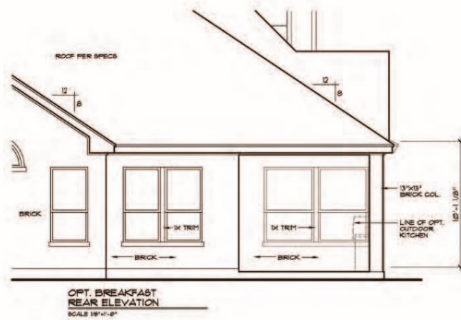
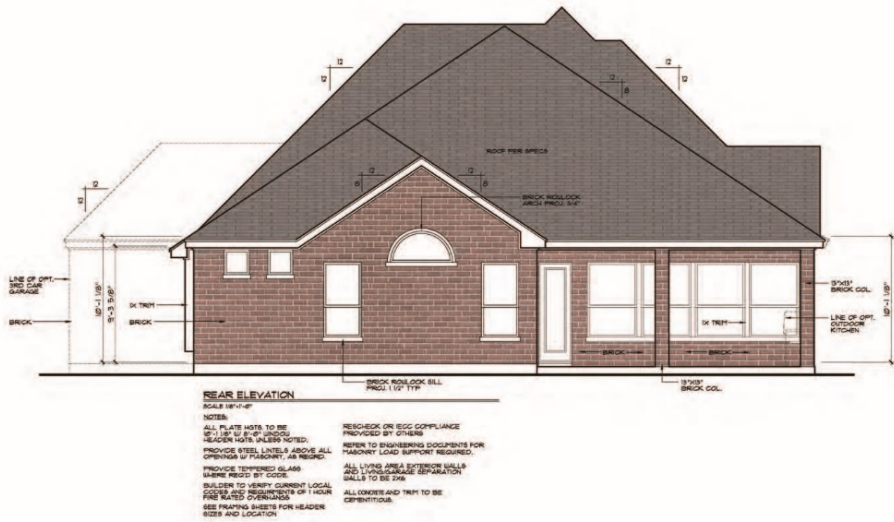
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GARY KIPP  
ARCHITECTS  
11776 Austin, Texas 76182  
817.776.1177  
WWW.GARYKIPPARCHITECTS.COM

11-18-14  
Sheet  
8A of 11

EXHIBIT "B"  
BUILDING ELEVATIONS CONT.





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PLAN 625 RFA

LONDON HOMES

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KIPP FLORES  
ARCHITECTS  
11771 130th Avenue, Suite 100, Denver, CO 80231  
303.755.1111  
WWW.KIPPFILORES.COM

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Date 11-18-14  
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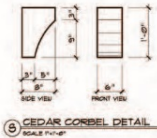
EXHIBIT "B"  
BUILDING ELEVATIONS CONT.

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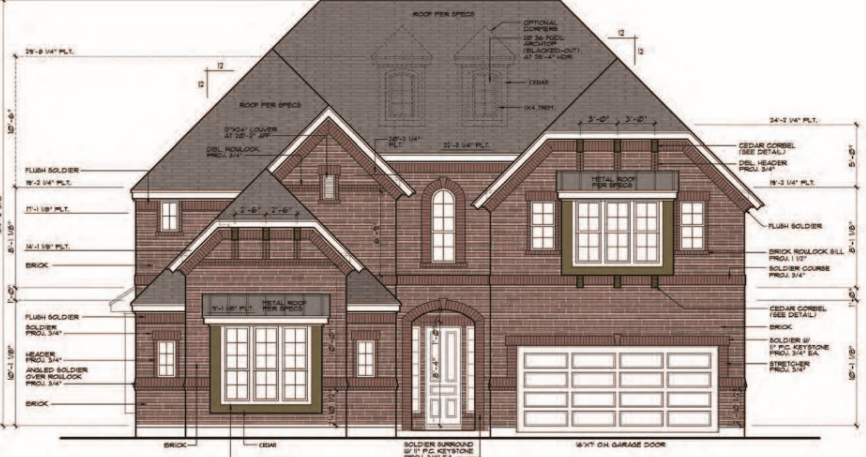
**KIPP FLORES ARCHITECTS**  
11774 J. Anderson Rd., Suite 100 Austin, Texas 78758  
(512) 336-1774  
www.kippflores.com

5-5-15  
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MASSARY PERCENTAGE BY ELEVATION (CALCULATED BY ELEVATION)				
	NET EXT. WALL AREA	GLAZING AREA	AREA OF MASONRY	MASSARY PERCENTAGE
FRONT				
1st FLOOR	800	21.9	800	0.028
2nd FLOOR	800	35	800	0.039
TOTAL	800	24.9	800	0.034
RIGHT				
1st FLOOR	800	40	800	0.039
2nd FLOOR	800	40	800	0.039
TOTAL	1600	80	1600	0.039
LEFT				
1st FLOOR	800	35	800	0.039
2nd FLOOR	800	35	800	0.039
TOTAL	1600	70	1600	0.039
REAR				
1st FLOOR	800	21.9	800	0.028
2nd FLOOR	800	35	800	0.039
TOTAL	1600	56.9	1600	0.034
SUB-TOTAL	4000	132.7	4000	0.034
TOTAL	16001	204	16001	0.034
TOTAL *	34007	211	34007	0.034

MASSARY PERCENTAGE BY ELEVATION (CALCULATED BY ELEVATION)				
	NET EXT. WALL AREA	GLAZING AREA	AREA OF MASONRY	MASSARY PERCENTAGE
FRONT				
1st FLOOR	800	21.9	800	0.028
2nd FLOOR	800	35	800	0.039
TOTAL	800	24.9	800	0.034
RIGHT				
1st FLOOR	800	40	800	0.039
2nd FLOOR	800	40	800	0.039
TOTAL	1600	80	1600	0.039
LEFT				
1st FLOOR	800	35	800	0.039
2nd FLOOR	800	35	800	0.039
TOTAL	1600	70	1600	0.039
REAR				
1st FLOOR	800	21.9	800	0.028
2nd FLOOR	800	35	800	0.039
TOTAL	1600	56.9	1600	0.034
SUB-TOTAL	4000	132.7	4000	0.034
TOTAL	16001	204	16001	0.034
TOTAL *	34007	211	34007	0.034

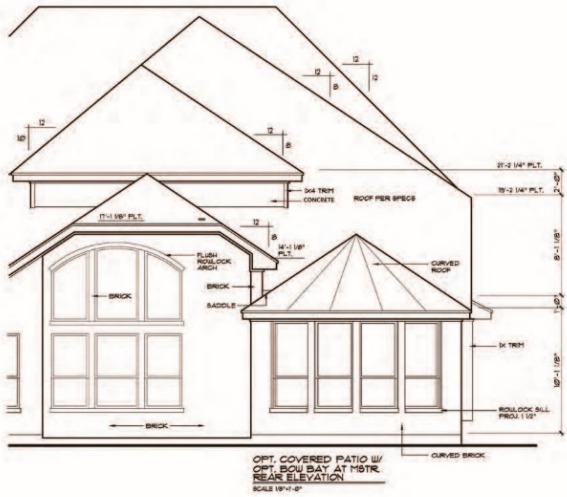


**NOTES**  
1ST FLOOR PLATE GLASS TO BE 1/2" GLASS (1/2" GLASS) HEADERS NOTED  
2ND FLOOR PLATE GLASS TO BE 1/2" GLASS (1/2" GLASS) HEADERS NOTED  
PROVIDE STEEL LATHES ABOVE ALL OPENINGS OF FRAMING, AS REQUIRED.  
PROVIDE REINFORCED SLAB WHERE REQUIRED BY CODE.  
BUILDER TO VERIFY CURRENT LOCAL FIRE RATED REQUIREMENTS OF 1 HOUR FIRE RATED REQUIREMENTS.  
RECHECK ON ECC COMPLIANCE PROVIDED BY OTHER SEE PLATING SHEETS FOR HEADER SIZES AND LOCATIONS  
REFER TO ENGINEERING DOCUMENTS FOR FRAMING LOAD SUPPORT REQUIRED.  
ALL LIVING AREA EXTERIOR WALLS SHALL TO BE 8" REINFORCED  
ALL CONCRETE AND TRIM SHALL CONFORM TO THE LATEST REQUIREMENTS.

GARY KIPP  
1/18/2016  
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PLAN 698 RFB

**EXHIBIT "B"**  
**CG ELEVATIONS CONT.**



MAJORITY TECHNIQUE *** (OFF-COVER FIELDS)						
		NET EXT. WALL AREA	RATIO OF (WALLS AND LOGS) TO AREA OF MAJORITY	AREA OF MAJORITY	MAJORITY TECHNIQUE ***	
PROCT	1st FLOOR	495	50	405	0	0.008
	2nd FLOOR	503	54	429	0	0.008
	TOTAL	998	104	894	0	0.016
ROBT	1st FLOOR	614	49	565	0	0.009
	2nd FLOOR	589	49	540	50	0.01
	TOTAL	1203	98	1105	50	0.019
LST	1st FLOOR	434	75	435	0	0.009
	2nd FLOOR	434	75	435	0	0.009
	TOTAL	868	150	868	0	0.018
RDM	1st FLOOR	620	44	576	0	0.01
	2nd FLOOR	620	44	576	0	0.01
	TOTAL	1240	88	1152	0	0.02
BLR	1st FLOOR	2233	147	2086	80	0.015
	2nd FLOOR	1953	147	1806	80	0.015
	TOTAL	4186	294	3892	160	0.03



OPT. COVERED PATIO  
REAR ELEVATION  
SCALE 1/8"=1'-0"

NOTE:

1ST FLOOR PLATE HGTS. TO BE  
10'-1 1/8" W/ 8'-0" WINDOW  
HEADER HGTS. UNLESS NOTED.

2ND FLOOR PLATE HGTS. TO BE  
8'-1 1/8" W/ 7'-0" WINDOW  
HEADER HGTS. UNLESS NOTED.

PROVIDE STEEL LINTELS ABOVE ALL  
OPENINGS W/ MASONRY, AS REQ'D.

PROVIDE TEmPERED GLASS  
WHERE REQ'D BY CODE.

BUILDER TO VERIFY CURRENT LOCAL  
CODES AND REQUIREMENTS OF I HO  
FIRE RATED OVERHANGS  
RECHECK OR IEC COMPLIANCE  
PROVIDED BY OTHERS  
SEE FRUITING SHEETS FOR HEADERS  
AND LOCATIONS

REFER TO ENGINEERING DOCUMENTS FOR  
MASONRY LOAD SUPPORT REQUIRED.

ALL LIVING AREA EXTERIOR WALLS  
AND LIVING/GARAGE SEPARATION  
WALLS TO BE 2X6.

ALL CONCRETE AND TRIM  
SHALL BE CEMENTITIOUS.

CARY KIPP  
11/8/2016  
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OPT. COV'D PATIO  
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**KIPP★FLORES**  
**ARCHITECTS®**  
® (512) 335-5477 fax (512) 336-5802  
WWW.KIPPFLORRES.COM  
11776 Joboville Rd., Suite 100 Austin, Texas 78759

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**Date**

Date  
5-5-15

Sheet  
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**EXHIBIT "B"**  
**G ELEVATION**

**LANDON HOMES**

for to ensure a maximum return and thereby a maximum return on investment. It is important to remember that the return on investment is not the same as the return on capital. The return on capital is the return on the capital invested in the business, while the return on investment is the return on the investment in the business. The return on investment is the return on the investment in the business, while the return on capital is the return on the capital invested in the business.

**KIPP FLORES**  
**ARCHITECTS**  
P (510) 336-9477 fax (510) 336-6862  
WWW.SUPPLIESON.COM  
11776 Julyville Rd. Suite 100 Av. Treva Treva  
1750-1810-1830-1850 11/23/78

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