

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, AMENDING THE ALLEN LAND DEVELOPMENT CODE ZONING REGULATIONS, AND ZONING MAP, AS PREVIOUSLY AMENDED, BY AMENDING THE REGULATIONS RELATING TO THE USE AND DEVELOPMENT OF LOT 7, BLOCK G, BRAY CENTRAL ONE, LOCATED IN DISTRICT F OF PLANNED DEVELOPMENT “PD” NO. 108 OFFICE “O” AND ADOPTING A ZONING EXHIBIT, CONCEPT PLAN, LANDSCAPE PLAN, AND BUILDING ELEVATIONS; PROVIDING FOR A CONFLICTS RESOLUTION CLAUSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A SAVINGS CLAUSE; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Allen, Texas, in compliance with the laws of the State of Texas and the Ordinances of the City of Allen, Texas, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally and to all persons interested and situated in the affected area, and in the vicinity thereof, and in the exercise of its legislative discretion, the City Council has concluded that the Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as previously amended, should be further amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, THAT:

SECTION 1. The Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as amended, be further amended by amending as set forth in Section 2 of this Ordinance the regulations relating to the use and development of Lot 7, Block G, Bray Central One, an addition to City of Allen, Collin County, Texas, according to the plat thereof recorded in Cabinet Q, Slide 111, Plat Records, Collin County, Texas (“the Property”) located in District F of Planned Development “PD” No. 108 Office “O”.

SECTION 2. The Property shall be developed and used only in accordance with the applicable provisions of the Allen Land Development Code, as amended (“ALDC”) and District F of Planned Development “PD” No. 108 as set forth in Ordinance No. 3044-10-11, as amended (collectively “the PD 108 Ordinance”), except to the extent modified by the Development Regulations set forth below:

- A. CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit “B” and incorporated herein by reference (the “Concept Plan”).
- B. LANDSCAPE PLAN:** The Property shall be developed in general conformance with the Landscape Plan attached hereto as Exhibit “C” and incorporated herein by reference (the “Landscape Plan”).
- C. BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the architectural style set forth on the Building Elevations attached hereto as Exhibit “D” and incorporated herein by reference (the “Building Elevations”).
- D. PERMITTED USES:** In addition to the uses permitted within District F of Planned Development “PD” No. 108, Block G, Lot 7, as identified on the Concept Plan, may be developed and used as a Convenience store with Fuel Sales.

SECTION 3. To the extent of any irreconcilable conflict with the provisions of this Ordinance and other ordinances of the City of Allen governing the use and development of the Property and which are not expressly amended by this Ordinance, the provisions of this Ordinance shall be controlling.

SECTION 4. Should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance, or of the Allen Land Development Code, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said Ordinance or the Allen Land Development Code, as amended hereby, which shall remain in full force and effect.

SECTION 5. An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Allen Land Development Code Zoning Regulations, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 6. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in Allen Land Development Code Zoning Regulations as previously amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense.

SECTION 7. This Ordinance shall take effect immediately from and after its passage and publication of the caption in accordance with the provisions of the Charter of the City of Allen, and it is accordingly so ordained.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, ON THIS THE ____ DAY OF _____ 2021.

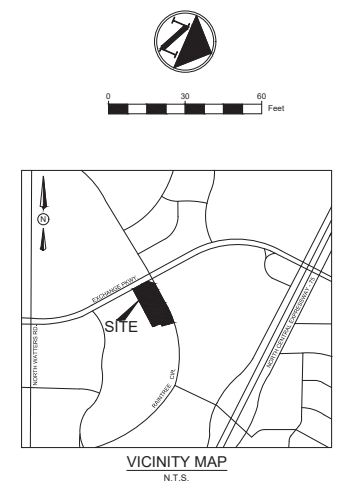
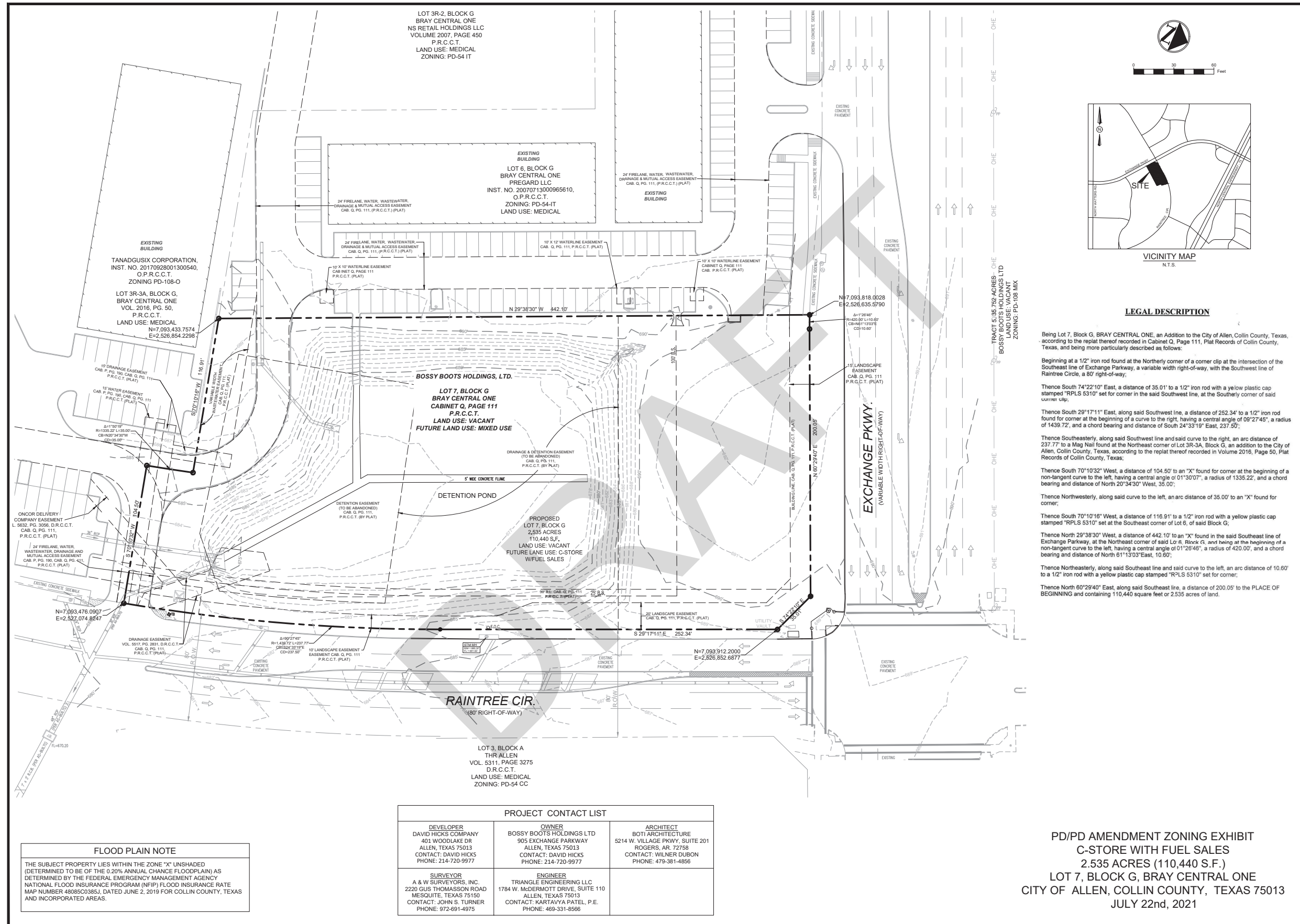
APPROVED:

Kenneth M. Fulk, MAYOR

APPROVED AS TO FORM: ATTEST:

Peter G. Smith, CITY ATTORNEY
(xxx:mm/dd/yyyy:xxxxxx)

Shelley B. George, CITY SECRETARY



LEGAL DESCRIPTION

Being Lot 7, Block G, BRAY CENTRAL ONE, an Addition to the City of Allen, Collin County, Texas, according to the replat thereof recorded in Cabinet Q, Page 111, Plat Records of Collin County, Texas, and being more particularly described as follows:

Beginning at a 1/2" iron rod found at the Northerly corner of a corner clip at the intersection of the Southeast line of Exchange Parkway, a variable width right-of-way, with the Southwest line of Raintree Circle, a 80' right-of-way;

Thence South 74°22'10" East, a distance of 35.01' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner in the said Southwest line, at the Southerly corner of said corner clip;

Thence South 29°17'11" East, along said Southwest line, a distance of 252.34' to a 1/2" iron rod found for corner at the beginning of a curve to the right, having a central angle of 09°27'45", a radius of 1439.72', and a chord bearing and distance of South 24°33'19" East, 237.60';

Thence Southeasterly, along said Southwest line and said curve to the right, an arc distance of 237.77' to a Mag Nail found at the Northeast corner of Lot 3R-3A, Block G, an addition to the City of Allen, Collin County, Texas, according to the replat thereof recorded in Volume 2016, Page 50, Plat Records of Collin County, Texas;

Thence South 70°10'32" West, a distance of 104.50' to an "X" found for corner at the beginning of a non-tangent curve to the left, having a central angle of 01°30'07", a radius of 1335.22', and a chord bearing and distance of North 20°34'30" West, 35.00';

Thence Northwesterly, along said curve to the left, an arc distance of 35.00' to an "X" found for corner;

Thence South 70°10'16" West, a distance of 116.91' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set at the Southeast corner of Lot 6, of said Block G;

Thence North 20°38'30" West, a distance of 442.10' to an "X" found in the said Southeast line of Exchange Parkway, at the Northeast corner of said Lot 6, Block G, and being at the beginning of a non-tangent curve to the left, having a central angle of 01°26'46", a radius of 420.00', and a chord bearing and distance of North 61°13'03" East, 10.60';

Thence Northeasterly, along said Southeast line and said curve to the left, an arc distance of 10.60' to a 1/2" iron rod with a yellow plastic cap stamped "RPLS 5310" set for corner;

Thence North 60°29'40" East, along said Southeast line, a distance of 200.05' to the PLACE OF BEGINNING and containing 110,440 square feet or 2.535 acres of land.

FLOOD PLAIN NOTE

THE SUBJECT PROPERTY LIES WITHIN THE ZONE "X" UNSHADED (DETERMINED TO BE OF THE 0.20% ANNUAL CHANCE FLOODPLAIN) AS DETERMINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM (NFIP) FLOOD INSURANCE RATE MAP NUMBER 48085C0385J, DATED JUNE 2, 2019 FOR COLLIN COUNTY, TEXAS AND INCORPORATED AREAS.

PROJECT CONTACT LIST		
DEVELOPER DAVID HICKS COMPANY 401 WOODLAKE DR ALLEN, TEXAS 75013 CONTACT: DAVID HICKS PHONE: 214-720-9977	OWNER BOSSY BOOTS HOLDINGS LTD 905 EXCHANGE PARKWAY ALLEN, TEXAS 75013 CONTACT: DAVID HICKS PHONE: 214-720-9977	ARCHITECT BOTI ARCHITECTURE 5214 W. VILLAGE PKWY, SUITE 201 ROGERS, AR. 72758 CONTACT: WILNER DUBON PHONE: 479-381-4856
SURVEYOR A & W SURVEYORS, INC. 2220 GUS THOMASSON ROAD MESQUITE, TEXAS 75150 CONTACT: JOHN S. TURNER PHONE: 972-691-4975	ENGINEER TRIANGLE ENGINEERING LLC 1784 W. McDERMOTT DRIVE, SUITE 110 ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	

PD/PD AMENDMENT ZONING EXHIBIT
C-STORE WITH FUEL SALES
2.535 ACRES (110,440 S.F.)
LOT 7, BLOCK G, BRAY CENTRAL ONE
CITY OF ALLEN, COLLIN COUNTY, TEXAS 75013
JULY 22nd, 2021

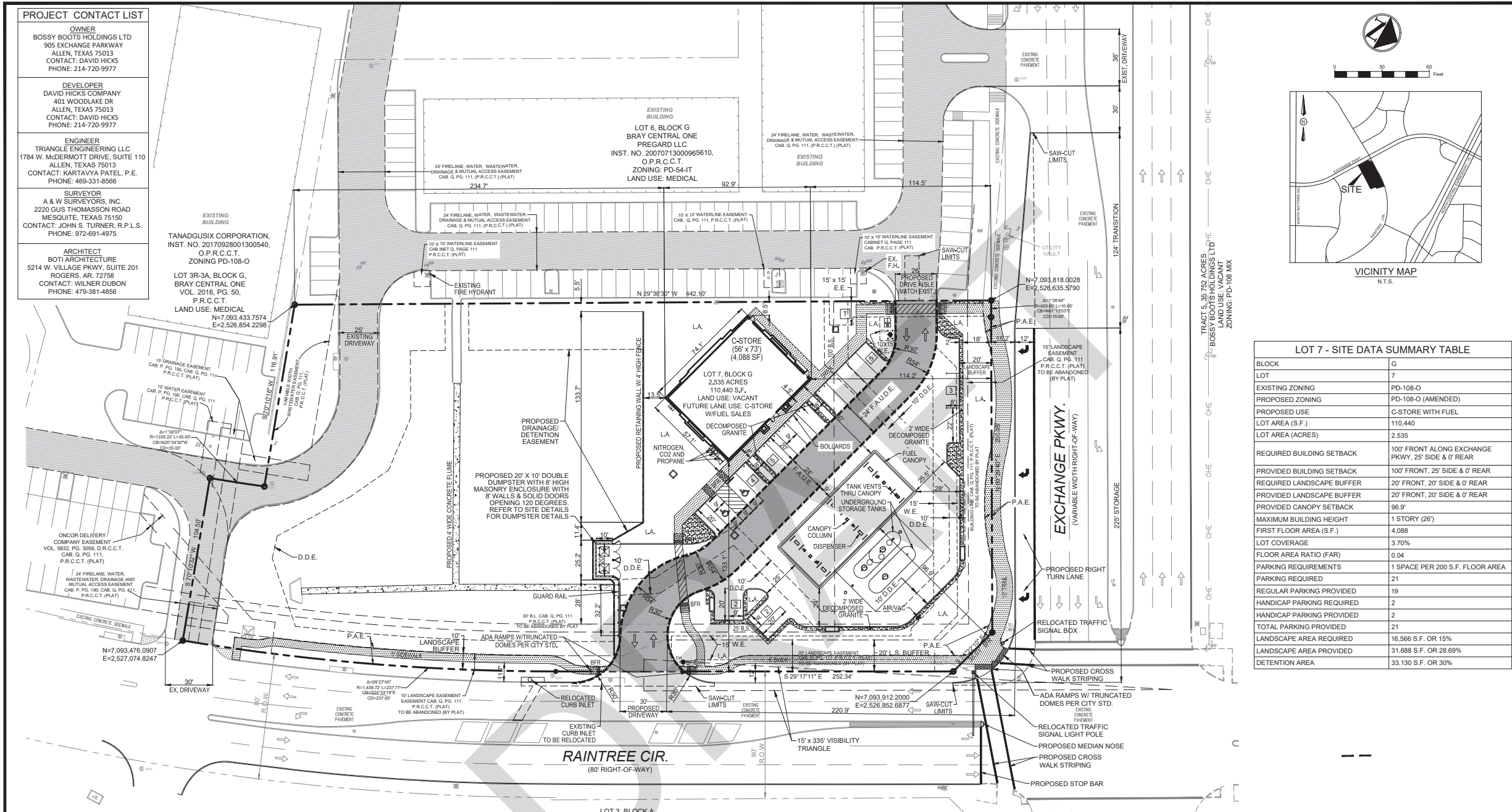
TX PE FIRM #11525
TRIANGLE ENGINEERING LLC
T: 469.331.8566 | F: 469.213.7461 | E: info@triangle-eng.com
W: triangle-eng.com | 101784 W. McDermott Drive, Suite 110, Allen, TX 75013
Planning | Civil Engineering | Construction Management

NO.	DATE	DESCRIPTION	BY
1	07-22-2021	1ST PD AMENDMENT SUBMITTAL	KP



07/22/2021
PD AMENDMENT ZONING EXHIBIT
905 EXCHANGE PKWY.
CITY OF ALLEN
COLLIN COUNTY, TEXAS

DATE	PROJECT
07/22/21	121-20
DESIGN	DRAWN
KP	MLM
SHEET #	
ZE	



PROJECT CONTACT LIST

OWNER BOSSY BOOTS HOLDINGS LTD 905 EXCHANGE PARKWAY ALLEN, TEXAS 75013 CONTACT: DAVID HICKS PHONE: 214-720-9977
DEVELOPER DAVID HICKS COMPANY 401 WOODLAKE DR ALLEN, TEXAS 75013 CONTACT: DAVID HICKS PHONE: 214-720-9977
ENGINEER TRIANGLE ENGINEERING LLC 1784 W. McDERMOTT DRIVE, SUITE 110 ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566
SURVEYOR A & W SURVEYORS, INC. 2220 GUS THOMASSON ROAD MESQUITE, TEXAS 75150 CONTACT: JOHN S. TURNER, R.P.L.S. PHONE: 972-691-4975
ARCHITECT BOTI ARCHITECTURE 5214 W. VILLAGE PKWY, SUITE 201 ROGERS, AR 72758 CONTACT: WILNER DUBON PHONE: 479-381-4856

TANADGUSIX CORPORATION,
INST. NO. 20170928001300540,
O.P.R.C.C.T.
ZONING PD-108-O
LOT 3R-3A, BLOCK G,
BRAY CENTRAL ONE
VOL. 2016, PG. 50,
P.R.C.C.T.
LAND USE: MEDICAL
N=7,093,433.7574
E=2,526,854.2298

EXISTING BUILDING
LOT 6, BLOCK G
BRAY CENTRAL ONE
PREGARD LLC
INST. NO. 20070713000965610,
O.P.R.C.C.T.
ZONING: PD-54-IT
LAND USE: MEDICAL

LOT 7 - SITE DATA SUMMARY TABLE

BLOCK	G
LOT	7
EXISTING ZONING	PD-108-O
PROPOSED ZONING	PD-108-O (AMENDED)
PROPOSED USE	C-STORE WITH FUEL
LOT AREA (S.F.)	110,440
LOT AREA (ACRES)	2.535
REQUIRED BUILDING SETBACK	100' FRONT ALONG EXCHANGE PKWY, 25' SIDE & 0' REAR
PROVIDED BUILDING SETBACK	100' FRONT, 25' SIDE & 0' REAR
REQUIRED LANDSCAPE BUFFER	20' FRONT, 20' SIDE & 0' REAR
PROVIDED LANDSCAPE BUFFER	20' FRONT, 20' SIDE & 0' REAR
PROVIDED CANOPY SETBACK	96.9'
MAXIMUM BUILDING HEIGHT	1 STORY (26')
FIRST FLOOR AREA (S.F.)	4,088
LOT COVERAGE	3.70%
FLOOR AREA RATIO (FAR)	0.04
PARKING REQUIREMENTS	1 SPACE PER 200 S.F. FLOOR AREA
PARKING PROVIDED	21
REGULAR PARKING PROVIDED	19
HANDICAP PARKING PROVIDED	2
TOTAL PARKING PROVIDED	21
LANDSCAPE AREA REQUIRED	16,566 S.F. OR 15%
LANDSCAPE AREA PROVIDED	31,688 S.F. OR 28.69%
DETENTION AREA	33,130 S.F. OR 30%

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE STANDARDS OF THE CITY OF ALLEN.
 - A PERMIT IS REQUIRED TO CUT A CITY STREET OR WORK WITHIN THE RIGHT-OF-WAY. THE PERMIT IS ISSUED BY THE PUBLIC WORKS DEPARTMENT.
 - THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
 - WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENT.
 - ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS", VOL. 29, SUBPART P, PG. 128 - 137, AND ANY AMENDMENTS THERETO.
 - ADEQUATE MEASURES SHALL BE TAKEN TO PREVENT EROSION. IN THE EVENT THAT SIGNIFICANT EROSION OCCURS AS A RESULT OF CONSTRUCTION THE CONTRACTOR SHALL RESTORE THE ERODED AREA TO ORIGINAL CONDITION OR BETTER.
 - THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
 - ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING FROM THE DESIGN ENGINEER. THE DIRECTOR OF PUBLIC WORKS SHALL APPROVE ANY DEVIATIONS FROM STATE REGULATIONS.
 - THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.

EXISTING LEGEND

TELE. BOX	FIRE HYDRANT
CABLE BOX	IR VALVE
ELECTRIC BOX	UTILITY POLE
STORM DRAIN MH	TRANS. BOX
SAN. SEW. CO.	GAS MARKER
LIGHT POLE	OVERHEAD UTILITY LINE
SAN. SEW. MH	GUY WIRE ANCHOR
IRRIGATION VALVE	RET. WALL
WATER VALVE	BUILDING LINE
ELECTRIC MH	EASEMENT
TELEPHONE MH	BOUNDARY
WATER METER	HIGHBANK LINE
GAS METER	PARKING STRIPS

SITE LEGEND

FIRE LANE	SIDEWALK	STRIPING	DECOMPOSED GRANITE
CONCRETE CURB	SAW-CUT LINE	FENCE	PARKING SPACES
FIRE LANE	MONUMENT/PYLON SIGN	WHEEL STOPS	HANDICAP LOGO
HANDICAP SIGN	RAMP	BOLLARD	TRAFFIC ARROW
FIRE HYDRANT	LIGHT POLE	DUMPSTER	

EASEMENT/SETBACK LEGEND

BUILDING SETBACK	B.S.
LANDSCAPE AREA	L.A.
FIRE LANE ACCESS	F.A.U.D.E.
UTILITY & DRAINAGE EASEMENT	U.D.E.
ACCESS EASEMENT	A.E.
PEDESTRIAN ACCESS EASEMENT	P.A.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

"NO PROTECTED TREES ON SITE"

PD/PD AMENDMENT CONCEPT PLAN
C-STORE WITH FUEL SALES
2.535 ACRES (110,440 S.F.)
LOT 7, BLOCK G, BRAY CENTRAL ONE
CITY OF ALLEN, COLLIN COUNTY, TEXAS 75013
OCTOBER 12th, 2021

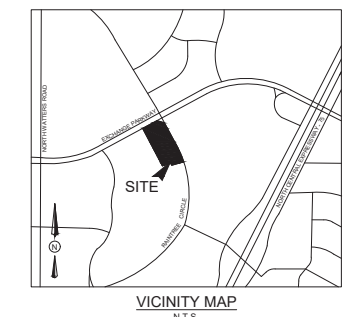
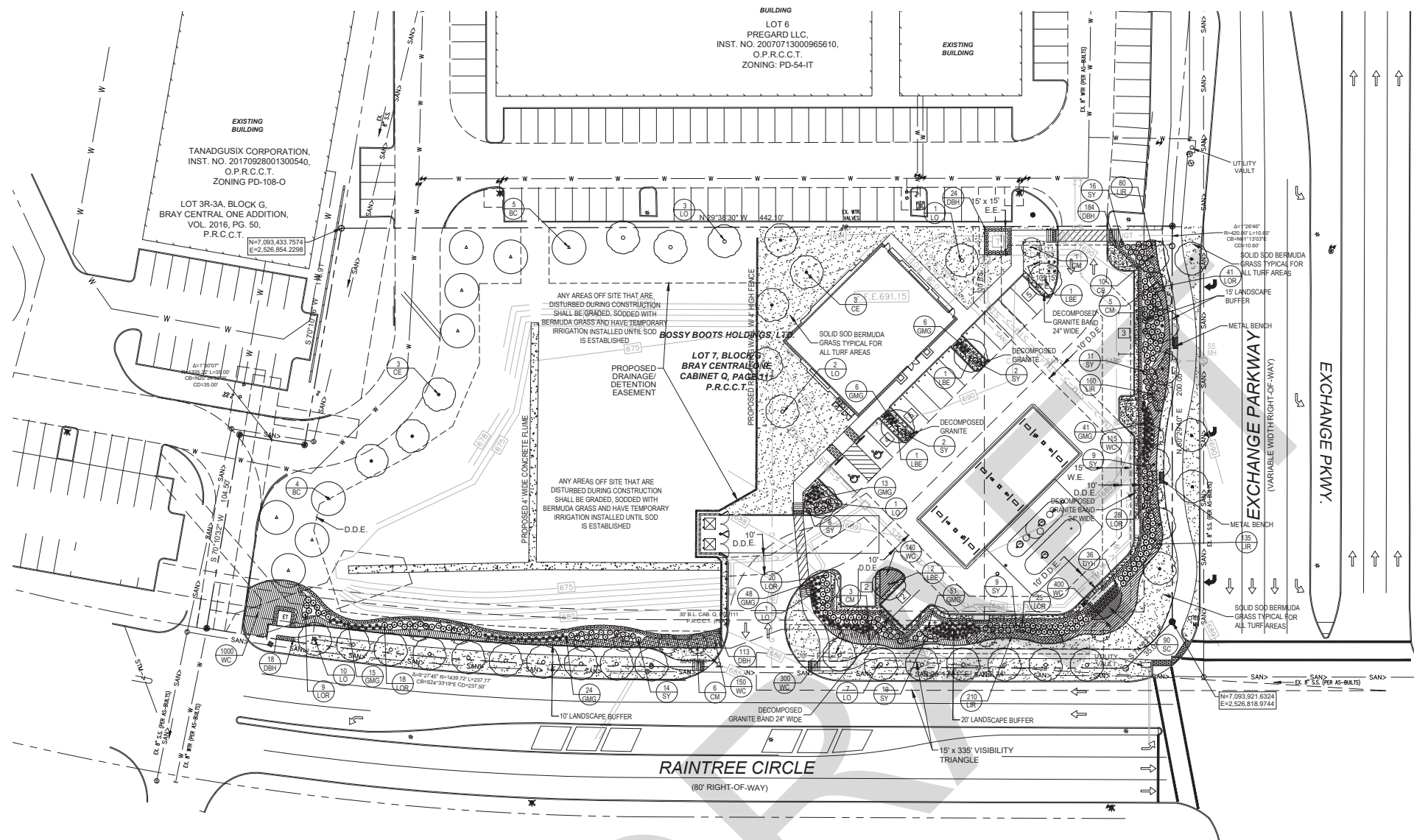


NO.	DATE	DESCRIPTION
1	07-22-2021	1ST PD AMENDMENT SUBMITTAL
2	09-13-2021	2ND PD AMENDMENT SUBMITTAL
3	10-12-2021	3RD PD AMENDMENT SUBMITTAL



PD AMENDMENT CONCEPT PLAN
905 EXCHANGE PKWY.
CITY OF ALLEN
COLLIN COUNTY, TEXAS

DATE	PROJECT
10/12/21	121-20
DESIGN	DRAWN
KP	MLM
SHEET #	
CP	



- LANDSCAPE NOTES**
- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
 - CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
 - CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
 - ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
 - ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
 - ALL LAWN AREAS TO BE SOLID SOD BERMUDA GRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

- GENERAL LAWN NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL, FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
 - ALL LAWN AREAS TO BE FINE GRADED. IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
 - ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION.
 - CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

- SOLID SOD NOTES**
- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL, 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
 - ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
 - ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
 - CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
 - PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
 - ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
 - WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
 - CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
 - CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
 - SOD INSTALLED DURING DORMANT PERIOD SHALL NOT BE OVER-SEEDDED WITH RYE GRASS PER CITY OF ALLEN STANDARDS.

Requirement	Provided
CONVENIENCE STORE LANDSCAPE TABULATIONS	
TOTAL SITE AREA (110,440 s.f.)	
Requirements: 15% of total site area to be landscaped	
Required 16,566 s.f. (15%)	Provided 31,688 s.f. (28.69%)
STREET FRONTAGE - Raintree Circle (490 l.f.)	
Landscape buffer (7,076 s.f.)	
Requirements: For lots greater than 100 feet of street frontage, one (1) shade tree per 30 l.f. of street frontage and one (1) ornamental tree for every two (2) shade trees is also required. Landscape buffer can not be more than 50% turf.	
Required (17) trees (9) ornamental trees 3,538 s.f.- 50% max. turf	Provided (17) trees (9) ornamental trees 2,263 s.f.- 31% turf proposed
STREET FRONTAGE - Exchange Parkway (245.7 l.f.)	
Landscape buffer (3,398 s.f.)	
Requirements: For lots greater than 100 feet of street frontage, one (1) shade tree per 30 l.f. of street frontage and one (1) ornamental tree for every two (2) shade trees is also required. Landscape buffer can not be more than 50% turf.	
Required (9) trees (5) ornamental trees 1,699 s.f.- 50% max. turf	Provided (10) trees (5) ornamental trees 1,290 s.f.- 38% turf proposed

PARKING LOT (21 spaces)
Requirements: One (1) shade tree and one (1) ornamental tree for every 30 parking spaces. No parking space shall be more than 50 feet from any tree. A headlight screen shall be provided by means of shrubs or berm.

CORNER LOT
Requirements: Enhanced planting bed area at corner.

Required 900 s.f. Provided 1,000 sf

THERE ARE NO EXISTING TREES ON SITE

CONVENIENCE STORE PLANT MATERIAL SCHEDULE

TREES	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
TREES	BC	9	Bald Cypress	<i>Taxodium distichum</i>	4" cal.	container, 13" ht., 5' spread, 6' clear straight trunk
	CE	16	Cedar Elm	<i>Ulmus crassifolia</i>	4" cal.	container, 13" ht., 5' spread, 6' clear straight trunk
	CM	15	Crape Myrtle	<i>Lagerstromia indica</i>	3" cal.	container, 3-5 trunks, tree form
	LBE	5	Lancetleaf Elm	<i>Ulmus parvifolia</i>	4" cal.	container, 13" ht., 5' spread, 6' clear straight trunk
	LO	25	Live Oak	<i>Quercus virginiana</i>	4" cal.	container, 13" ht., 5' spread, 6' clear straight trunk
SHRUBS	DYH	36	Dwarf Yaupon Holly	<i>Ilex vomitoria 'nana'</i>	3 gal.	container, 18" ht., 18" spread
	LOR	204	Gulf Muhly Grass	<i>Muhlenbergia capillaris</i>	3 gal.	container full, well rooted
	DBH	339	Dwarf Burford Holly	<i>Ilex cornuta 'Burfordii nana'</i>	3 gal.	container, 20" ht., 20" spread
	SY	88	Softleaf Yucca	<i>Yucca recurvifolia</i>	5 gal.	container, 24" ht., 24" spread
						5 gal.
GROUNDCOVERS	LIR	585	Liriope	<i>Liriope muscari</i>	4" pots	container full, well rooted, 12" o.c.
	SC	90	Seasonal Color		4" pots	3-5 runners min., 12" o.c.
	WC	2105	Purple Wintercreeper	<i>Euonymus fortunei 'Coloratus'</i>	4" pots	solid sod refer to notes
						4" pots

NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1784 W. McDERMOTT DR.
SUITE 110
ALLEN, TEXAS 75013
(469) 368-4448
CHRIS@STUDIOGREENSPOT.COM



10.11.2021

PD AMENDMENT CONCEPT PLAN
905 EXCHANGE PARKWAY
CITY OF ALLEN, COLLIN COUNTY, TEXAS

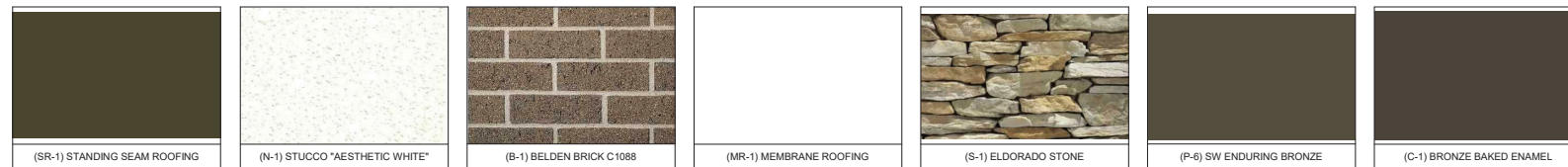
ISSUE:
FOR APPROVAL 07.16.2021
CITY COMMENTS 09.14.2021
CITY COMMENTS 10.11.2021

DATE:
10.11.2021

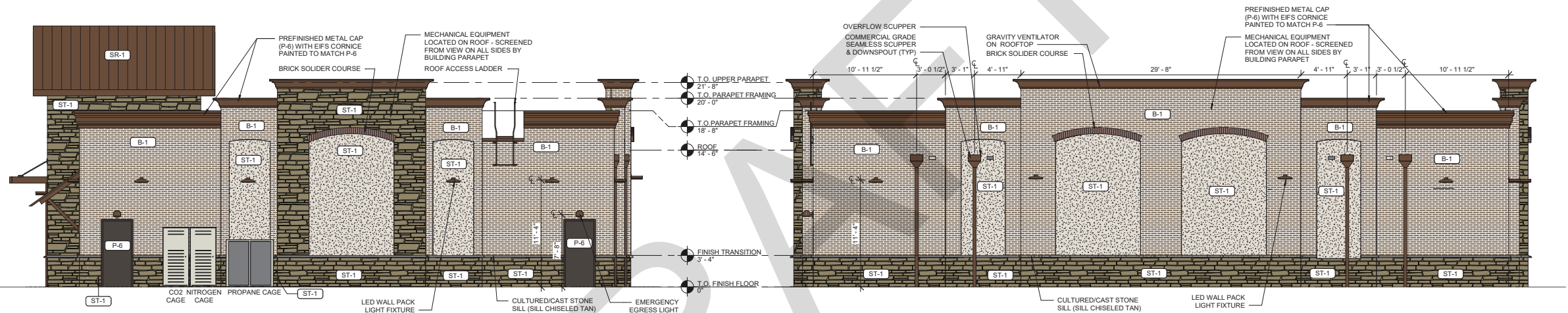
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LANDSCAPE PLAN

SHEET NUMBER:
L.1

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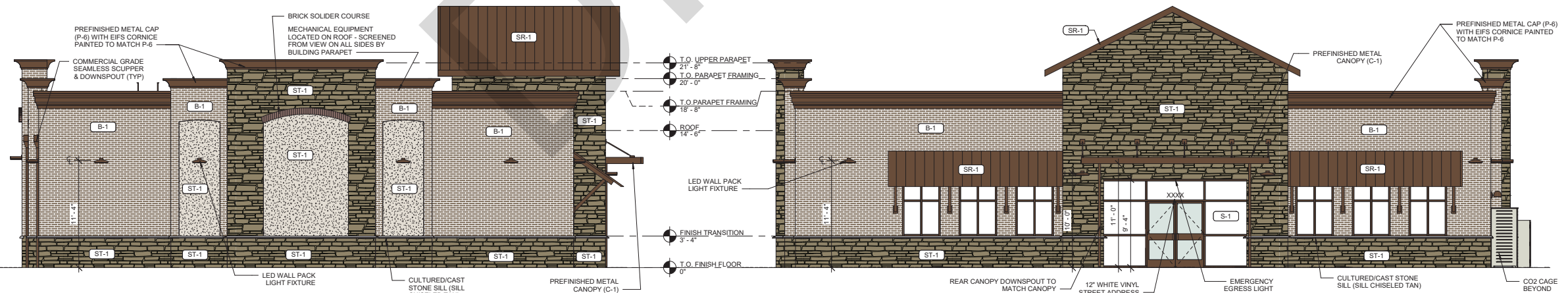


EXTERIOR MATERIALS SCHEDULE			
(NOT ALL MATERIALS IN SCHEDULE ARE USED)			
NO.	MATERIAL	MANUFACTURER	COLOR
MR-1	MEMBRANE ROOFING	DUROLAST	WHITE
C-1	MAPES LUMISHADE CANOPY WITH REAR GUTTER CONNECTION	MAPES	BRONZE BAKED ENAMEL
S-1	ALUMINUM STOREFRONT GLAZING	KAWNEER	451T VG
FC-1	FUEL CANOPY FASCIA	REYNOLBOND	EASTMAN WHITE PY-25
B-1	BRICK	BELDON	C1088 "8521 BR"
STU-1	STUCCO	MERLEX	PAINTED SW "AESTHETIC WHITE"
P-6	EXTERIOR HOLLOW METAL DOORS, FRAMES, SCUPPERS, DOWNSPOUTS, CANOPIES, CORNICES, PARAPET CAPS, EXTERIOR BOLLARDS AND TRASH ENCLOSURE GATES	SHERWIN WILLIAMS	ENDURING BRONZE SW7055
ST-1	BLUFFSTONE NEUTRAL GRAYS, WINE & HINT OF APRICOT	ELDORADO STONE	LA PLATA "BUFFSTONE"
SR-1	STANDING SEAM ROOFING	TBD	



4 REVIEW BOARD ELEVATION - RIGHT
3/16" = 1'-0"

3 REVIEW BOARD ELEVATION - REAR
3/16" = 1'-0"



2 REVIEW BOARD ELEVATION - LEFT
3/16" = 1'-0"

1 REVIEW BOARD ELEVATION - FRONT
3/16" = 1'-0"

REV. #	DATE	DESCRIPTION

PHOTO: 10-23-2019 (2019-02)

C-STORE W/FUEL STATION #41360
EXCHANGE PARKWAY & BAINTREE CIRCLE
ALLEN, TX 75013

REVIEW BOARD BUILDING ELEVATIONS

Drawings and Specifications are instruments of service and shall remain the property of the Architect. They are not to be used on other projects or extensions to this project except by agreement in writing and with appropriate compensation to the Architect.

Contractor is responsible for confirming and correlating dimensions at job site; the Architect will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programmatic connection with the project.

The seal and signature apply only to the document to which they are affixed and we expressly disclaim any responsibility for all other plans, specifications, addendums, reports or other documents or instruments relating to or intended to be used for any part of the project.

NOT FOR CONSTRUCTION

12/16/2020

JOB#: 20090
DATE: 12/16/2020
SHEET: **R0.2**

BIM 360://20090 Allen TX (202083)/20090_ALLEN TX_A_R20.rvt

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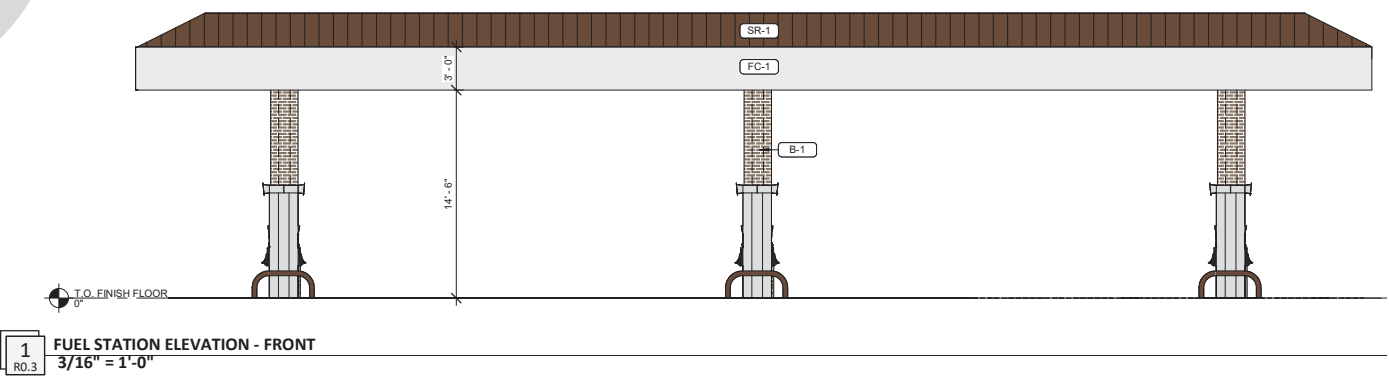
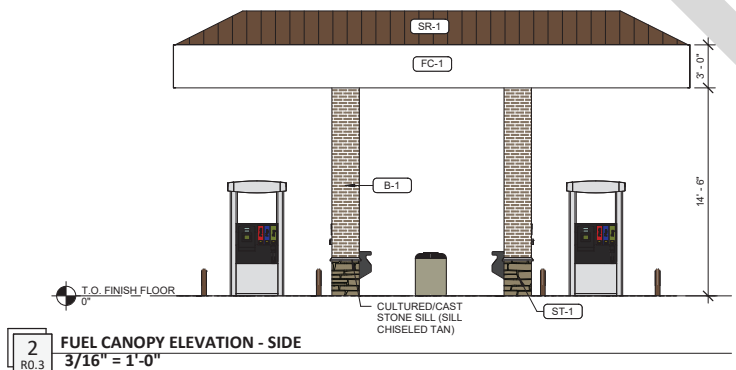
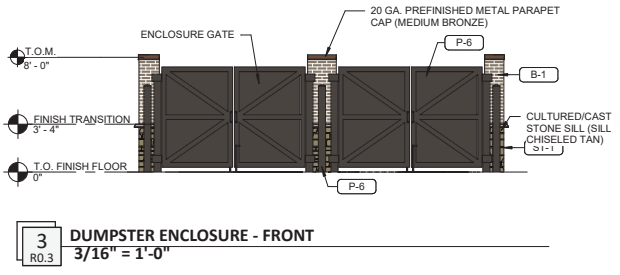
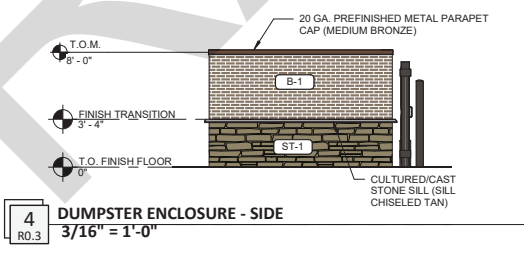
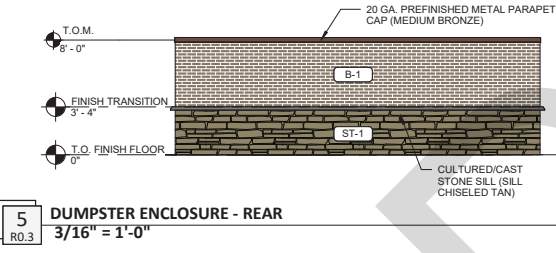
EXTERIOR MATERIALS SCHEDULE			
(NOT ALL MATERIALS IN SCHEDULE ARE USED)			
NO.	MATERIAL	MANUFACTURER	COLOR
MR-1	MEMBRANE ROOFING	DUROLAST	WHITE
C-1	MAPES LUMISHADE CANOPY WITH REAR GUTTER CONNECTION	MAPES	BRONZE BAKED ENAMEL
S-1	ALUMINUM STOREFRONT GLAZING	KAWNEER	451T VG
FC-1	FUEL CANOPY FASCIA	REYNBOND	EASTMAN WHITE PY-25
B-1	BRICK	BELDON	C1088 "8621 BR"
STU-1	STUCCO	MERLEX	PAINTED SW "AESTHETIC WHITE"
P-6	EXTERIOR HOLLOW METAL DOORS, FRAMES, SCUPPERS, DOWNSPOUTS, CANOPIES, CORNICE COPINGS, PARAPET CAPS, EXTERIOR BOLLARDS AND TRASH ENCLOSURE GATES	SHERWIN WILLIAMS	ENDURING BRONZE SW7055
ST-1	BLUFFSTONE NEUTRAL GRAYS, WINE & HINT OF APRICOT	ELDORADO STONE	LA PLATA "BUFFSTONE"
SR-1	STANDING SEAM ROOFING	TBD	

REV. #	DATE	DESCRIPTION

PROTO:10-23-2019 (2019-02)

C-STORE W/FUEL STATION #41360
EXCHANGE PARKWAY & BAINTREE CIRCLE
ALLEN, TX 75013

REVIEW BOARD ELEVATIONS



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NOT FOR CONSTRUCTION

12/16/2020

JOB#: 20090
DATE: 12/16/2020
SHEET: **R0.3**

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