

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, AMENDING THE ALLEN LAND DEVELOPMENT CODE ZONING REGULATIONS AND ZONING MAP, AS PREVIOUSLY AMENDED, BY AMENDING THE REGULATIONS RELATING TO THE USE AND DEVELOPMENT OF A 35.740± ACRE TRACT SITUATED IN THE J. FYKE SURVEY, ABSTRACT NO. 325, AND PRESENTLY LOCATED IN AND ZONED AS DISTRICT G OF PLANNED DEVELOPMENT “PD” NO. 108, ADOPTING A ZONING EXHIBIT, CONCEPT PLAN, BUILDING ELEVATIONS, OPEN SPACE PLAN, COMMERCIAL AREA CIVIC SPACES PLAN, COMMERCIAL AREA ENHANCED PAVING EXHIBIT, AND COMMERCIAL AREA STREET “G” CROSS SECTION; PROVIDING FOR A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Allen, Texas, in compliance with the laws of the State of Texas and the ordinances of the City of Allen, Texas, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally and to all persons interested and situated in the affected area, and in the vicinity thereof, and in the exercise of its legislative discretion, have concluded that Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as previously amended, should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, THAT:

SECTION 1. The Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as heretofore amended, be amended by amending the regulations relating to the use and development of a 35.740± acre tract of land situated in the J. Fyke Survey, Abstract No. 325 (“the Property”) described in “Exhibit A,” attached hereto and incorporated herein by reference presently located in and zoned as District G of Planned Development No. 108 as set forth in Section 2 of this Ordinance.

SECTION 2. The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended, (“ALDC”) and the development and use regulations for property located within District G of Planned Development “PD” No. 108 as set forth in Exhibit “B” to Ordinance No. 3044-10-11, as amended, (“the PD 108 Development Regulations”) except to the extent modified by this Section 2:

- A. CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit “B” and incorporated herein by reference (the “Concept Plan”). Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of plat approval.

B. BASE ZONING:

(1) Single-Family Area

- (a) The portion of the Property designated as “Detached Single Family” as shown on the Concept Plan (the “Single-Family Area”) shall be developed in accordance with the development standards of the “R-7” single-family residential district in the ALDC except as modified by this Ordinance.
- (b) The Single-Family Area shall be developed with no more than sixty (60) single-family dwelling units.

(2) Townhome Area

- (a) The portion of the Property designated as “Attached Townhomes A” and “Attached Townhomes B” as shown on the Concept Plan (the “Townhome Area”) shall be developed in accordance with the development standards of the “TH” Townhome residential district in the ALDC except as modified by this Ordinance.
- (b) The Townhome Area shall be developed with no more than 120 townhome units.

- (3) Commercial Area.** The portion of the Property designated as “Commercial” as shown on the Concept Plan (the “Commercial Area”) shall be developed in accordance with the development standards of the “CC” Commercial Corridor District except as modified by the PD 108 Development Regulations and this Ordinance.

C. BUILDING ELEVATIONS:

- (1) Residential buildings to be constructed on the Property shall be developed in general conformance with the architectural style set forth on the Elevations attached hereto as Exhibit “C” and incorporated herein by reference (the “Single Family and Townhome Residential Representative Elevations”).
- (2) Non-Residential buildings to be constructed on the Property shall be a maximum of four stories or 60 feet.

D. OPEN SPACE AND CIVIC SPACE:

- (1) All open spaces within Single Family Area and Townhome Area on the Property shall be developed in general conformance with the Open Space Plan attached hereto as Exhibit “D”;
- (2) Open spaces within the Townhome Area of the Property must be evenly distributed, centrally located, and easily accessible. Open space areas less than 15 feet wide shall not be included in the calculation for determining compliance with required open space area;
- (3) Lots within the Townhome Area of the Property shall not back to an open space;
- (4) All civic spaces within the Commercial Area shall be developed in general conformance with the Commercial Area Civic Spaces Plan attached hereto as Exhibit “E.”

E. USES WITHIN THE COMMERCIAL AREA:

- (1) The uses for which the Commercial Area may be developed shall comply with the uses for District G set forth in Table 1 of Section 2 of the PD-108 Development, subject to the following amending except as follows:

(a) Permitted by right:

1. Amusement Commercial Indoor
2. Antique Shop
3. Artisans and Artist Studio
4. Banks and Financial Institutions
5. Banquet Hall (less than 15,000 square feet)
6. Bicycle Shop and Repair Service
7. Book, Card or Novelty Shops
8. Catering
9. Dance and Martial Arts Studio (Less than 5,000 square feet)
10. Drug Store or Pharmacy (Less than 10,000 square feet)
11. Fitness and Health Center (Less than 10,000 square feet)
12. Florist
13. Food Hall or Cafeteria
14. Food Service
15. Food Truck Park in locations noted on Concept Plan
16. Furniture/Appliance Sales
17. Grocery (less than 40,000 square feet)
18. Gymnastics and Sports Training Facility (Less than 10,000 square feet)
19. Hardware Store
20. Laundry Cleaning Plant, Retail with Laundry/Dry Cleaning pickup only
21. Key shop / Locksmith
22. Office
23. Medical or Dental Office

24. Personal Service Business
25. Private Club
26. Public Service Facility/Public Restroom
27. Restaurant (with live music indoors)
28. Restaurant (with live music outdoors)
29. Retail Store
30. Massage establishment
31. Micro-Distillery
32. Micro-Brewery
33. Winery
34. Theatre (Cinema)
35. Theatre (Live)

(b) Permitted following approval of a specific use permit:

1. Daycare facility
2. Garage – Public Parking
3. Seasonal Sales
4. Teen Club
5. Restaurant (Drive-In or Through)

(c) For the purpose of this Ordinance, a “Banquet Hall” means an establishment which is rented by individuals or groups for the purpose of conducting private functions including, but not limited to, a party, banquet, reception, or social event, and shall be inclusive of patio areas, foyers and other entryways, bathrooms, dressing rooms, kitchens and other food preparation areas, and storage areas used on association with the operation of the establishment. A “Banquet Hall” shall be developed with off-street parking spaces equal to not less than one space per 100 square feet of gross floor area of the portion of the building used as the Banquet Hall and the area on the exterior of the building designed and intended for regular use as outdoor eating and event space.

(d) For purposes of this Ordinance:

1. A “Microbrewery” means an establishment holding a “Brewer’s Permit or a Brewer’s Self-Distribution Permit” issued by the Texas Alcoholic Beverage Commission in accordance with the Texas Alcoholic Beverage Code, as amended;

2. A “Microdistillery” means an establishment holding a “Distiller’s and Rectifier’s Permit” issued by the Texas Alcoholic Beverage Commission in accordance with the Texas Alcoholic Beverage Code, as amended; and
 3. A “winery” means an establishment holding a “Winery Permit” issued by the Texas Alcoholic Beverage Commission in accordance with the Texas Alcoholic Beverage Code, as amended.
- (e) Microbreweries, microdistilleries, and wineries are subject to the following development standards:
1. The maximum floor area per each individual occupancy is 15,000 square feet;
 2. All manufacture, blending, distilling, fermentation, processing, and packaging of alcoholic beverages activities shall occur wholly inside a building;
 3. Required off-street parking:
 - a. One space per 2,000 square feet of floor area used for storage
 - b. One space per 200 square feet of floor area used for retail sales and seating; and
 - c. One space per 1,000 square feet of floor area used for all other purposes.
 4. Each microbrewery, microdistillery, and winery use shall comply with all applicable requirements in the Texas Alcoholic Beverage Code;
 5. Retail sales of alcoholic beverages for on premises or off premises consumption and related items and tastings or sampling are allowed in accordance with Texas Alcoholic Beverage Commission regulations;
 6. Brewpubs are allowed to operate in association with the operation of a microbrewery, microdistillery, and winery to the extent the establishment otherwise qualifies for issuance of a Brewpub License under the Texas Alcoholic Beverage Code.
 7. Drive-through facilities are prohibited except as authorized by Sections 6.03.2 and 6.06.5 of the ALDC.
- (f) A retail, restaurant, microdistillery, microbrewery or winery use may provide outside dining, provided the calculation for determining the minimum number of required off-street parking spaces includes the gross area of outside dining areas.
- (g) Temporary uses and special events conducted on the Property shall be conducted in accordance with Section 6.04 of the ALDC, “Temporary Uses and Special Events” subject to the following:
1. Temporary Uses and Special Events shall not be limited by number or duration in a calendar year;

2. Temporary Use and Special Event locations may not obstruct fire lanes/emergency access points; and
3. Temporary Uses and Special Events may not occupy the public recreational trails developed on the Property without prior written permission from the Director of Parks and Recreation.

- F. USES WITHIN THE SINGLE-FAMILY AREA:** The principal uses and accessory uses for which the Single-Family Area may be developed shall comply with Section 4.20.2 “Schedule of Principal Uses” and Section 4.20.3 “Schedule of Accessory Uses” to the extent applicable to the “R-7” Single-Family Residential District.
- G. USES WITH THE TOWNHOME AREA:** The principal uses and accessory uses for which the Townhome Area may be developed shall comply with Section 4.20.2 “Schedule of Principal Uses” and Section 4.20.3 “Schedule of Accessory Uses” to the extent applicable to the “TH” Townhome Residential District.
- H. LOT DESIGN CRITERIA AND BUILDING SETBACKS (SINGLE-FAMILY AND TOWNHOME AREAS):** The design criteria for the lots shown on the Concept Plan within the Single-Family Area and Townhome Area shall be modified as follows:

| Product Type | Min. Lot Width | Min. Lot Depth | Min. Front Setback ⁽⁴⁾ | Min. Rear Setback | Min. Side Setback ^(1,2) | Min. Lot Area | Max. Lot Coverage | Max. Building Height |
|--------------------------|----------------|----------------|-----------------------------------|-------------------|------------------------------------|---------------|-------------------|----------------------|
| Single Family (Detached) | 31 feet | 110 feet | 10 feet | 20 feet | 3' & 3' 5' & 1' 6' & 0' | 3,410 sf | 65% | 36 feet |
| Townhome A (Attached) | 30 feet | 95 feet | 10 feet | 20 feet | 0' ⁽³⁾ | 2,850 sf | 80% | 36 feet |
| Townhome B (Attached) | 22 feet | 95 feet | 10 feet | 20 feet | 0' ⁽³⁾ | 2,090 sf | 80% | 36 feet |

Notes

1. Side setbacks for Single Family lots shall be either 3 feet and 3 feet (center loaded), 5 feet and 1 foot (offset), or 6 feet and 0 feet (zero lot line), with a minimum of 6 feet of separation between dwelling units. If not center loaded, the shorter side setback for each lot shall be designated with platting. All Single Family lots shall have a 3' private maintenance, drainage, access, wall maintenance, and aerial overhang easement on the lot adjacent to the zero-setback property line.
2. Side yards adjacent to street right-of-way shall have 10' side setback.
3. For attached product, there shall be a 10' minimum separation between buildings.
4. Front Porches and Stoops shall be allowed to encroach minimum front setback up to 4'.

- I. TOWNHOME AREA REGULATIONS:** Development of the Townhome Area shall be subject to the following.

- (1) Parallel parking and tree bump-outs shall be provided along all streets according to the street section details on the Concept Plan;
- (2) Trees shall be planted in tree planting areas not less than eight feet wide located between the curb and sidewalk (tree bump-outs) according to the detail shown on the Concept Plan;
- (3) A utility and pedestrian access easement not less than five feet wide must be located between the tree planting area and townhome but no closer than one foot from any structure, including any porches, steps or stoops, extending from the front of the dwelling unit;

- (4) All franchise utilities and telecommunication facilities shall be located in easements with a minimum width of five feet located in the rear (alley side) of the dwelling units. Such utility easements may bump out (i.e., widen) as needed at certain locations to accommodate electrical transformer sizing as may be required by service provider, provided such modification are approved by the Director of Engineering;
- (5) Visitor parking spaces shall be constructed subject to the following:
 - 1. One visitor parking space must be constructed for every two townhome units that are constructed on the Property with a driveway of at least 20-foot in length;
 - 2. One and one-half visitor parking spaces must be constructed for every two townhome units that are constructed on the Property with a driveway of at least six-foot by less than 20-foot in length;
 - 3. No townhome unit shall be located more than 100 feet from a visitor space; and
 - 4. On-street or off-street spaces located within the Townhome area, excluding driveways, may be in the calculation of the minimum number of required visitor parking spaces.
- (6) For lots fronting on a street right-of-way, the pavement width of alleys at the rear of such lots may be reduced to not less than 12 feet and the alley right-of-way width may be reduced to not less than 16 feet upon approval of the Fire Marshall and subject to a finding that hose lay-lengths from the street right-of-way to the rear of the lot as required by the Fire Code can be satisfied; and

J. COMMERCIAL AREA REGULATIONS: For the portion of the Property within the Commercial Area:

- (1) The minimum front setback shall be 70 feet along Watters Road, Exchange Parkway and Bossy Boot Drive; and
- (2) The minimum front setback shall be 20 feet along Junction Drive.
- (3) Enhanced Paving Areas within the Commercial Area of the Property as shown on the Concept Plan shall be improved in general conformance with the details shown on the Commercial Area Enhanced Paving Exhibit attached hereto as Exhibit “F”.
- (4) Street G, as designated on the Concept Plan shall be improved in general conformance with the Section at Street G Exhibit attached hereto as Exhibit “G”.

K. HIKE AND BIKE TRAIL ALIGNMENT:

- (1) The hike and bike trail along Bossy Boots Drive shall be allowed to be located within the Bossy Boots Drive right-of-way and meander within the 15-foot landscape buffer and the parkway of Bossy Boots Drive.
- (2) Portions of the hike and bike trail shall be permitted to be located immediately adjacent to the back of curb as depicted on the Concept Plan to allow for landscape plantings and screening wall.

- (3) The planting of shade trees and ornamental trees in the landscape buffer behind Block A, Lots 1-14 shall not be required in order to allow for a meandering trail alignment.

SECTION 3. To the extent of any irreconcilable conflict with the provisions of this Ordinance and other ordinances of the City of Allen governing the use and development of the Property and which are not expressly amended by this Ordinance, the provisions of this Ordinance shall be controlling.

SECTION 4. Should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance, or of the Allen Land Development Code Zoning Regulations, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Allen Land Development Code Zoning Regulations, as amended hereby, which shall remain in full force and effect.

SECTION 5. An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Allen Land Development Code Zoning Regulations, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

SECTION 6. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in Allen Land Development Code Zoning Regulations of the City of Allen, as previously amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense.

SECTION 7. This Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Allen, and it is accordingly so ordained.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, ON THIS THE 12TH DAY OF OCTOBER 2021.

APPROVED:

Kenneth M. Fulk, MAYOR

APPROVED AS TO FORM:

ATTEST:

Peter G. Smith, CITY ATTORNEY
(kbl:9/14/21:124713)

Shelley B. George, TRMC, CITY SECRETARY

EXHIBIT "B"
CONCEPT PLAN



DEVELOPMENT TEAM

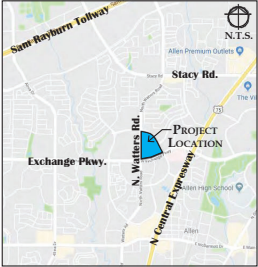
Owner:
Bossy Boots Holdings, LTD
c/o Beaird Harris
12221 Merit Drive, Ste. 750
Dallas, TX 75251

Owner Representative:
David Hicks Company
401 Woodlake Drive
Allen, TX 75013
(214) 720-9977
Contact: David Hicks

Land Planner:
Knapp Land Solutions
5381 Moss Glen Drive
Frisco, TX 75034
(972) 885-7537
Contact: James Knapp

Engineer / Surveyor:
Spiars Engineering
765 Custer Road, Suite 100
Plano, TX 75075
(972) 422-0077
Contact: Matt Dorsett, PE

LOCATION MAP



ABSTRACT

35,740 gross acre tract situated in the J. Fyke Survey, Abstract No. 325, City of Allen, Collin County, Texas

DATE:

Date Issued: October 09, 2020

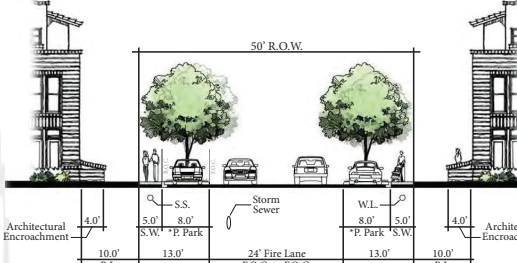
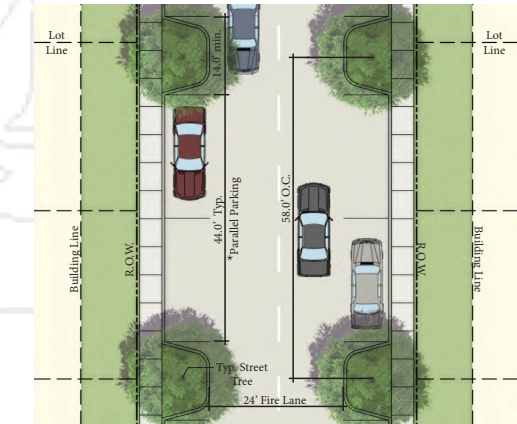
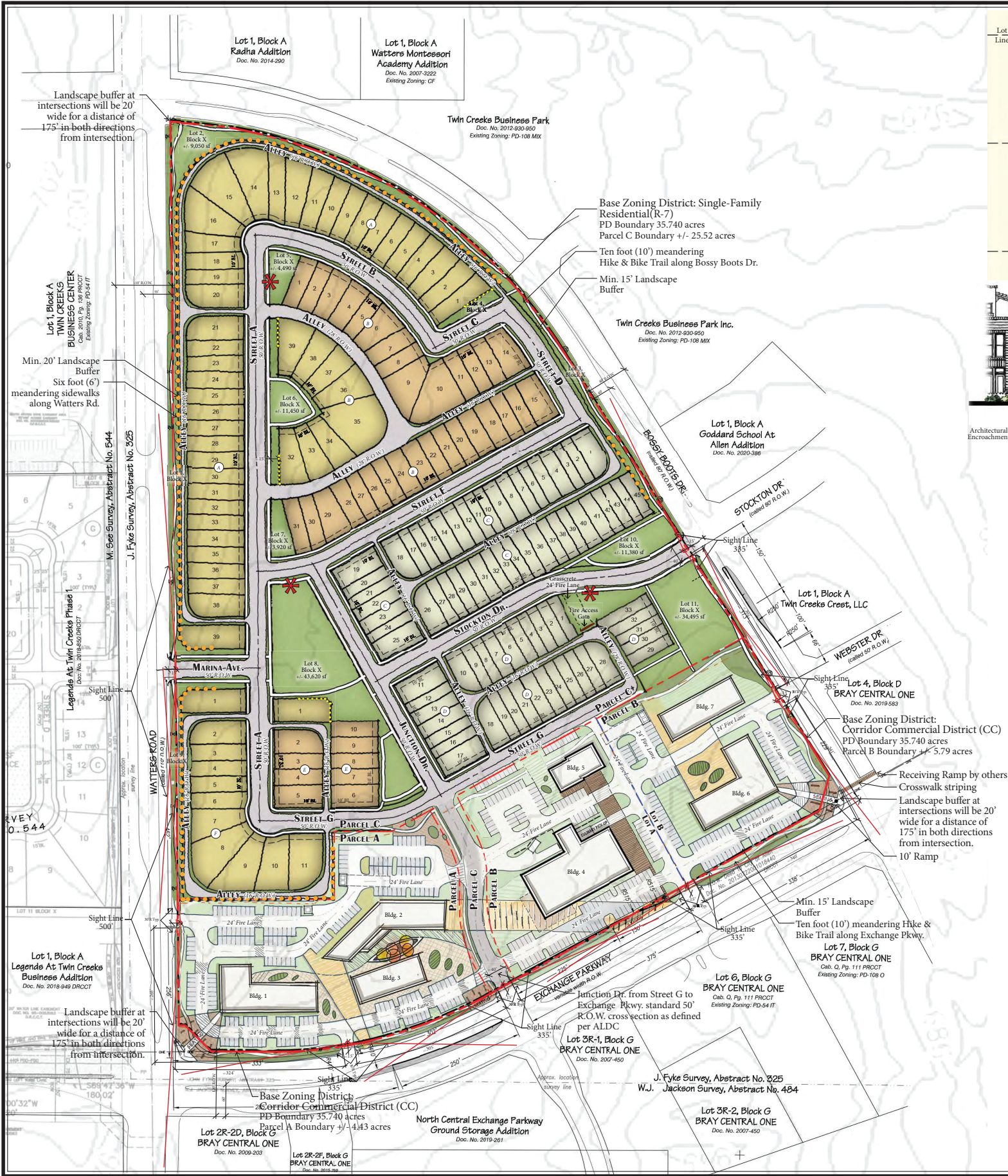
Revisions:
April 16, 2021 August 16, 2021
May 21, 2021 September 08, 2021
June 17, 2021 September 16, 2021
July 01, 2021
July 23, 2021

PROJECT

TWIN CREEKS WATTERS
ATTACHMENT C
PD AMENDMENT CONCEPT PLAN



Scale 1"=100'
This drawing is a pictorial representation for presentation purposes only and is subject to change without notice. Additionally, no warranty is made to the accuracy, completeness, or of the information contained herein.



RESIDENTIAL STREET SECTION

COMMERCIAL/OFFICE SUMMARY (PARCEL A/B):

| Parcel A | |
|--|--|
| Building 1: 11,000 sf. Retail: 4,400 sf. Restaurant: 6,600 sf. | Site Retail: 13,600 sf. 1/200 sf. = 68 parking req. |
| Building 2: 15,000 sf. Retail: 6,000 sf. Restaurant: 9,000 sf. | Site Restaurant: 20,400 sf. 1/100 sf. = 204 parking req. |
| Building 3: 8,000 sf. Retail: 3,200 sf. Restaurant: 4,800 sf. | Total Parking Required: 272 spots Total Parking Provided: 272 spots |
| Parcel B - Lot A | |
| Building 4: 21,000 sf. Retail/Grocery: 21,400 sf. | Site Medical Office: 5,200 sf. 1/250 sf. = 21 parking req. |
| Building 5: 5,200 sf. Med. Office: 5,200 sf. | Site Retail/Grocery: 21,000 sf. 1/200 sf. = 105 parking req. |
| Total: 26,200 sf. | Total Parking Required: 126 spots Total Parking Provided: 126 spots |
| Parcel B - Lot B | |
| Building 6: 14,000 sf. Retail: 8,400 sf. Restaurant: 5,600 sf. | Site Medical Office: 9,000 sf. 1/250 sf. = 36 parking req. |
| Building 7: 9,000 sf. Med. Office: 9,000 sf. | Site Retail: 8,400 sf. 1/200 sf. = 42 parking req. |
| Total: 23,000 sf. | Site Restaurant: 5,600 sf. 1/100 sf. = 56 parking req. |
| | Total Parking Required: 134 spots Total Parking Provided: 134 spots |

GENERAL NOTES:

- Existing Zoning: PD-108.
- See Attachment B - PD Amendment Zoning Exhibit for site survey and legal description.
- Contour Interval = two foot (2'). Source data compiled from NCTCOG DFW Maps database.
- No part of subject tract is located in a 100-year floodplain according to FEMA panel 48085C0385J dated 6/2/09.
- The development type boundaries shown on this exhibit are for illustration purposes and do not set the boundary. The boundary is determined at time of final plat.
- Acresages, lot counts, density, plus/minus dimensions and tabulations are subject to change as a result of further engineering and are considered approximate.
- Front, side and rear setbacks on lots will be as shown in the "Typical Lot Detail" diagrams shown herein, for each Product Type.
- Shared / cluster mailboxes will be generally located in the areas identified. Locations are subject to change with detailed design and approval from the United States Postal Service.
- No A/C's in yards less than seven feet (7').
- Gas meters must be located next to the house.
- An eight foot (8') masonry wall will be provided where indicated.
- Ornamental iron fences.
- FY Setback, RY Setback, and SY Setback represent Front Yard Setback, Rear Yard Setback, and Street Side Yard Setback respectively.
- This concept plan is an illustration that does not intend to deviate from requirements of the Allen Land Development Code, unless specifically identified in the Planned Development Regulations.
- Fire apparatus access roads including 24' alleys dedicated as fire lane shall extend to within 150' of all portions of the exterior walls of the first story of the buildings as measured by fire hose lay from a single fire apparatus around the exterior of the building. This hose lay distance may be increased to 250' if buildings are equipped throughout with an approved automatic sprinkler system installed per applicable codes including but not limited to NFPA 13, 13R, or 13D.
- Sight visibility easements will be required and determined at the time of final plat.
- Applicant shall comply with City Ordinance, Chapter 6, Health and Environment; Article III, Solid Waste; Sections 6-51 to 6-80.
- Attached Townhome runs will not exceed max number of units per ALDC.
- Applicant shall comply with all irrigation regulations in V.T.C.A. Administrative Code Title 30, Chapter 344 rules established by the State of Texas; and requirements for irrigation design and water conservation set in the Allen Land Development Code Section 7.05.6, and the City of Allen Water Conservation and Drought contingency and Emergency Response Plan.

EXHIBIT "C"
BUILDING ELEVATIONS

Single Family Representative Elevations



EXHIBIT "C"
BUILDING ELEVATIONS



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EXHIBIT "C"
BUILDING ELEVATIONS

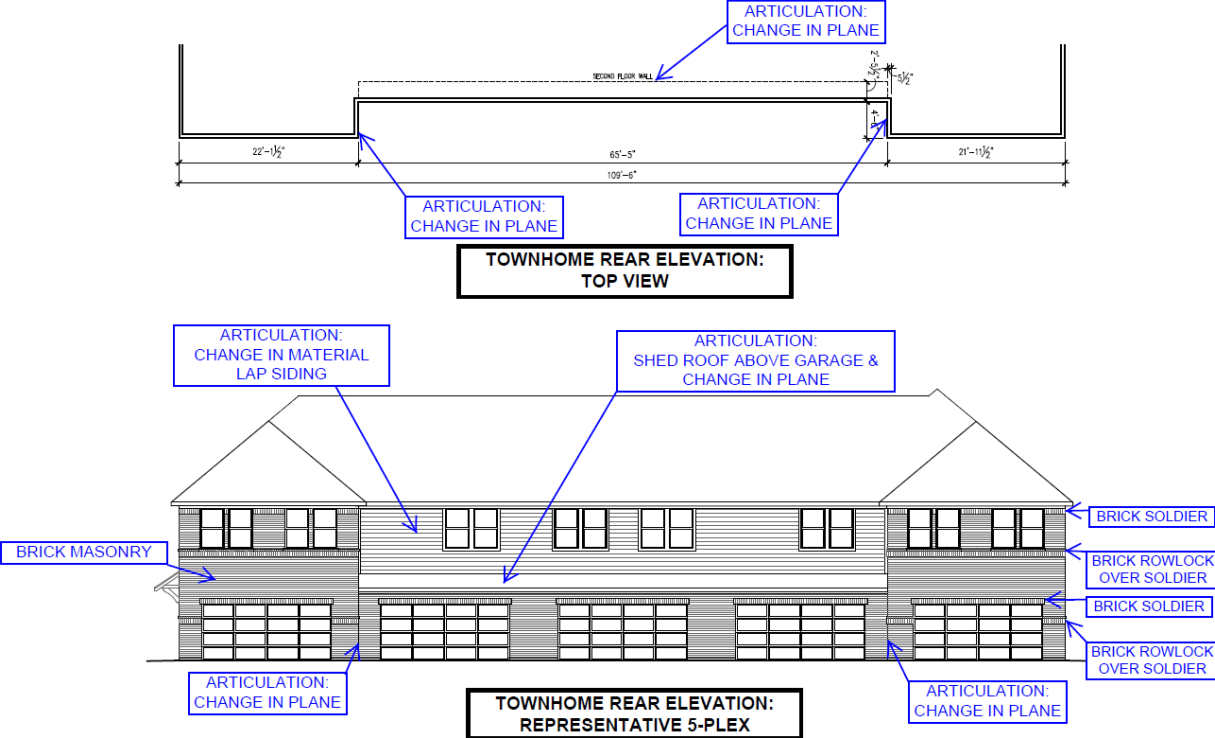
Townhome Representative Elevations



TOWNHOME FRONT RENDERINGS

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EXHIBIT "C"
BUILDING ELEVATIONS

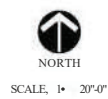


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CALLOUTS LEGEND:

- 1'-6" HT. STONE SEAT WALL
- 8'-0" HT. MASONRY WALL
- SHADE TREE. TREE SIZES SHALL BE 3.5" CALIPER FOR STREET TREES AND 3" CALIPER FOR OPEN SPACES.
- 3" CALIPER ORNAMENTAL TREE.
- SHRUBS AND GROUND COVER PLANTING SPECIES SHALL BE CONSISTENT WITH THE RECOMMENDED PLANT LIST WITH THE CITY OF ALLEN
- 10' WIDTH CONCRETE TRAIL
- 6' WIDTH CONCRETE TRAIL
- 5' WIDTH CONCRETE SIDEWALK

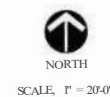


TWIN CREEK WATTERS/ CONCEPTUAL OPEN SPACE PLANS

City of Allen, Collin County, Texas

SHEET 2 OF 5
Submittal 08-09-2021





TWIN CREEK WAITERS/ CONCEPTUAL OPEN SPACE PLANS

City of Allen, Collin County, Texas

SHEET 3 OF 5
Submitted 08-09-2021





TWIN CREEK WATTERS/ CONCEPTUAL OPEN SPACE PLANS

City of Allen, Collin County, Texas



SHEET 4 OF 5
Submittal 08-09-2021



CALLOUTS LEGEND:

- 1'-6" HT. STONE SEAT WALL
- 8'-0" HT. MASONRY WALL
- SHADE TREE. TREE SIZES SHALL BE 3.5" CALIPER FOR STREET TREES AND 3" CALIPER FOR OPEN SPACES
- 3" CALIPER ORNAMENTAL TREE
- PLANT LIST WITH THE CITY OF
- DECOMPOSED GRANITE AREA
- 5' WIDTH CONCRETE SIDEWALK
- 10' WIDTH CONCRETE TRAIL



TWIN CREEK WATTERS/ CONCEPTUAL OPEN SPACE PLANS

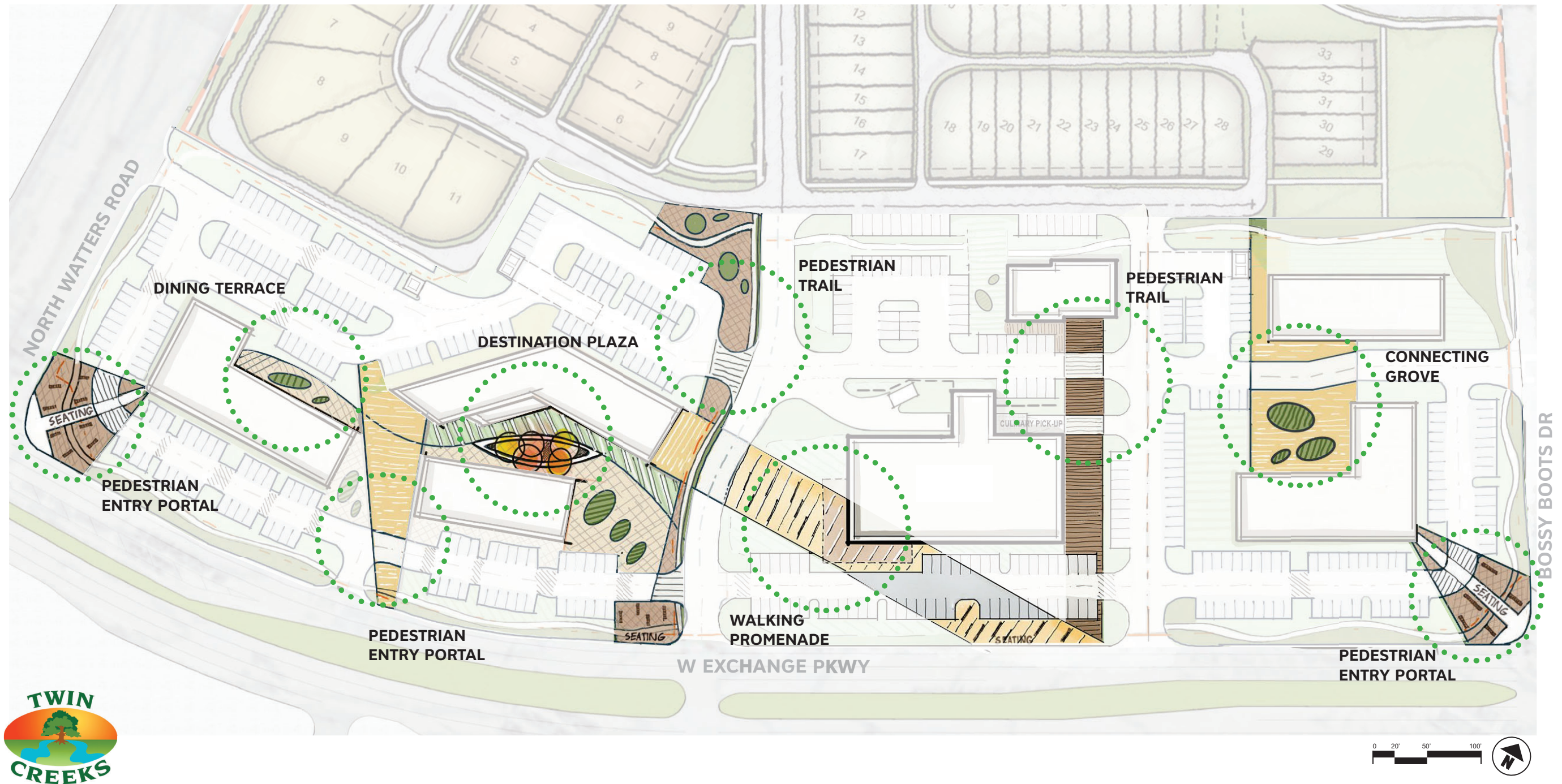
City of Allen, Collin County, Texas

SHEET 5 OF 5
Submittal 08-09-2021



CIVIC SPACES EXHIBIT

USE OF ENHANCED PAVING IN ALL CIVIC SPACES.
REFERENCE ENHANCED PAVING EXHIBIT.



TWIN CREEKS WATERS MASTER PLAN DEVELOPMENT

ALLEN, TEXAS

modus architecture

CONCEPTUAL PLANS AND IMAGES ARE FOR INFORMATIVE PURPOSES ONLY. OWNER TO VERIFY SITE PLANNING AND CODE COMPLIANCE WITH LOCAL JURISDICTION. NOT FOR CONSTRUCTION OR PERMITTING.

DATE: 09/07/2021

5

ENHANCED PAVING EXHIBIT

ENHANCED PAVING THROUGHOUT CIVIC SPACES
(PLAZAS, PROMENADES, TRAILS, ETC.) SHOULD PROMOTE
WALKABILITY AND PEDESTRIAN FRIENDLY ACTIVITIES
THROUGHOUT THE DEVELOPMENT.

MATERIAL EXAMPLES, BUT
NOT LIMITED TO:

- SCORED CONCRETE
- STAINED CONCRETE
- STAMPED CONCRETE
- PAVERS
- COBBLESTONE
- ORNAMENTAL STONE
- CRUSHED GRAVEL

EXAMPLE IMAGES:



TWIN CREEKS WATERS MASTER PLAN DEVELOPMENT

ALLEN, TEXAS

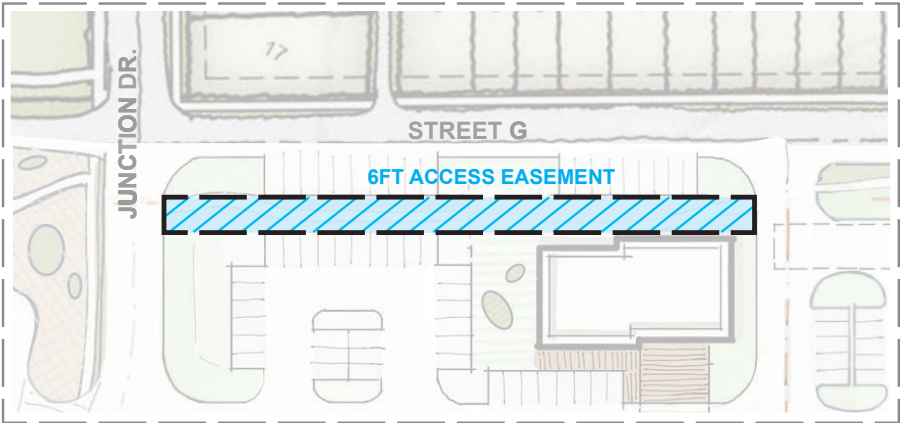
modus architecture

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DATE: 09/07/2021

6

SECTION AT STREET G EXHIBIT



DEDICATED PUBLIC ACCESS EASEMENT EXHIBIT
(6FT EASEMENT WITHIN 40FT OF PROPERTY LINE)

