

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, AMENDING THE ALLEN LAND DEVELOPMENT CODE AND ZONING MAP, AS PREVIOUSLY AMENDED, BY AMENDING THE REGULATIONS OF PLANNED DEVELOPMENT “PD” NO. 92 CORRIDOR COMMERCIAL “CC” RELATING TO THE USE AND DEVELOPMENT OF LOT 2, BLOCK C, STARCREEK COMMERCIAL, AND ADOPT A CONCEPT PLAN, BUILDING ELEVATIONS, AND DRIVEWAY EXHIBIT; PROVIDING FOR A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.**

**WHEREAS**, the Planning and Zoning Commission and the governing body of the City of Allen, Texas, in compliance with the laws of the State of Texas and the ordinances of the City of Allen, Texas, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally and to all persons interested and situated in the affected area, and in the vicinity thereof, and in the exercise of its legislative discretion, have concluded that Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as previously amended, should be amended.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, THAT:**

**SECTION 1.** The Allen Land Development Code Zoning Regulations and the Zoning Map of the City of Allen, Collin County, Texas, as previously amended, be further amended by amending as set forth in Section 2, below, the regulations relating to the development and use of Lot 2, Block C, of Starcreek Commercial Lot 1-3, Block C, an addition to the City of Allen, Collin County, Texas, according to the plat thereof recorded in Volume 2008, Page 635, Map Records, Collin County, Texas (“the Property”) as depicted in Exhibit “A,” attached hereto and incorporated herein by reference, and located in Planned Development PD No. 92 Corridor Commercial “CC.”

**SECTION 2.** The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended, (“ALDC”) and Tract A of Planned Development “PD” No. 92 as set forth in Ordinance No. 2272-3-04, as amended, and in Ordinance No. 2352-12-04, as amended, except to the extent modified by the Development Regulations set forth below:

- A. CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit “B” and incorporated herein by reference (the “Concept Plan”). Minor modifications to streets/driveways that do not alter the general alignment shown on the Concept Plan may be made at the time of Site Plan approval.
- B. PERMITTED USES:** In addition to the uses permitted in Tract A of Planned Development PD No. 92, the Property may be used and developed for the following purposes:
  - 1. “Medical or Dental Office” or “Office.”
  - 2. “Medical Clinic” following approval of a Specific Use Permit.

- C. BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the architectural style set forth on the Building Elevations attached hereto as Exhibit “C” and incorporated herein by reference (“the Building Elevations”).
- D. SCREENING:** A six-foot (6.0’) tall ornamental metal fence shall be installed on the Property at the location shown on the Concept Plan and constructed with two access gates allowing access to the floodplain, the location of said gates being determined at time of Site Plan approval. The existing trees located within the floodplain area of the Property shall be considered part of the required screening for the Property and shall be preserved in accordance with Section 7.06 of the ALDC, as amended.
- E. SIGNS:** In addition to the signs permitted to be located on the Property by the ALDC, a multi-tenant monument sign may be installed in the general location as identified on the Concept Plan and subject to the following regulations:

Maximum Height	Maximum Copy Area	Maximum Structure Area	Minimum Spacing	Front Yard Setback	Permit Required
8 ft.	80 sq. ft.	110 sq. ft.	60 ft.	8 feet	Yes

- F. PARKING:** A parking agreement or other instrument providing for the joint use of parking on the Property and one or more adjacent properties as necessary to ensure use of the Property in compliance with Section 7.04 of the ALDC must be prepared and approved in compliance with Section 7.04.1.2.c of the ALDC and recorded in the Official Public Records of Collin County prior to approval a replat of the Property.
- G. DRIVEWAY CUTS:** The Property shall be developed with the driveway cuts in general conformance with the Drive Exhibit attached hereto as Exhibit “D” and incorporated herein by reference (“the Drive Exhibit”).

**SECTION 3.** To the extent of any irreconcilable conflict with the provisions of this Ordinance and other ordinances of the City of Allen governing the use and development of the Property and which are not expressly amended by this Ordinance, the provisions of this Ordinance shall be controlling.

**SECTION 4.** Should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance, or of the Allen Land Development Code Zoning Regulations, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Allen Land Development Code Zoning Regulations, as amended hereby, which shall remain in full force and effect.

**SECTION 5.** An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Allen Land Development Code Zoning Regulations, as amended, in effect when the offense was committed, and the former law is continued in effect for this purpose.

**SECTION 6.** Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in Allen Land Development Code Zoning Regulations of the City of Allen, as previously amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense.

**SECTION 7.** This Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Allen, and it is accordingly so ordained.

**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, ON THIS THE 22<sup>ND</sup> DAY OF SEPTEMBER 2020.**

**APPROVED:**

\_\_\_\_\_  
**Debbie Stout, MAYOR**

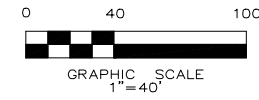
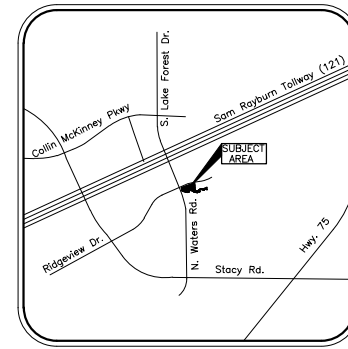
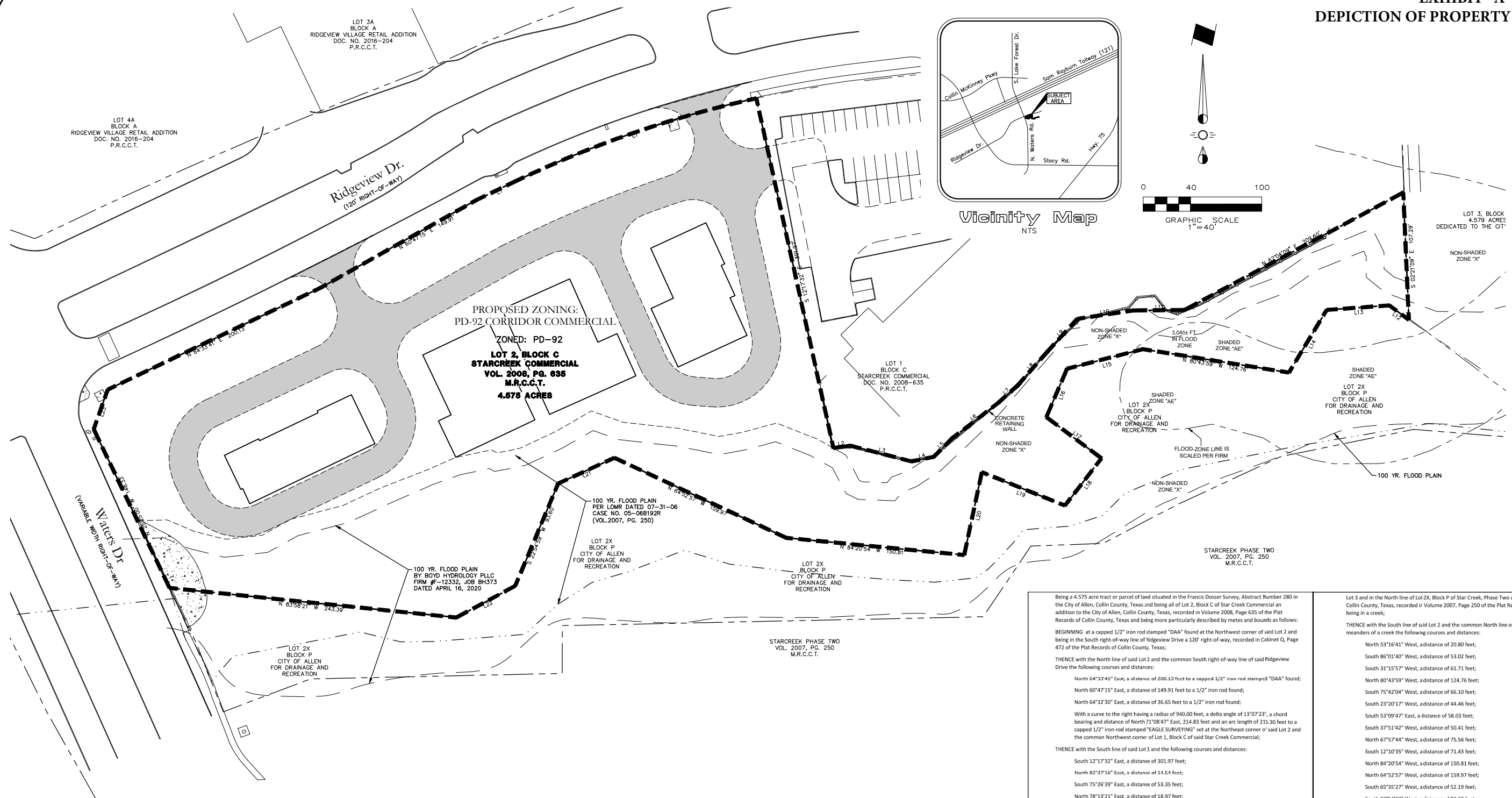
**APPROVED AS TO FORM:**

**ATTEST:**

\_\_\_\_\_  
**Peter G. Smith, City Attorney**  
(kbl:9/8/2020:117819)

\_\_\_\_\_  
**Shelley B. George, TRMC, City Secretary**

EXHIBIT "A"  
DEPICTION OF PROPERTY BOUNDARIES



LEGEND

- Limits of Zoning  
--- Limits of 100 Year Flood Plain

Area Information:  
4.575 Acres located in the  
City of Allen, Collin County,  
Texas.

Being a 4.575 acre tract or parcel of land situated in the Francis Dossier Survey, Abstract Number 280 in the City of Allen, Collin County, Texas and being all of Lot 2, Block C of Star Creek Commercial an addition to the City of Allen, Collin County, Texas, recorded in Volume 2008, Page 635 of the Plat Records of Collin County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a capped 1/2" iron rod stamped "DAA" found at the Northwest corner of said Lot 2 and being in the South right-of-way line of Ridgeview Drive a 120' right-of-way, recorded in Cabinet Q, Page 472 of the Plat Records of Collin County, Texas;

THENCE with the North line of said Lot 2 and the common South right-of-way line of said Ridgeview Drive the following courses and distances:

North 64°33'41" East, a distance of 200.13 feet to a capped 1/2" iron rod stamped "DAA" found;  
North 60°47'15" East, a distance of 149.91 feet to a 1/2" iron rod found;  
North 64°32'30" East, a distance of 36.65 feet to a 1/2" iron rod found;

With a curve to the right having a radius of 940.00 feet, a delta angle of 13°07'23", a chord bearing and distance of North 71°08'47" East, 214.83 feet and an arc length of 215.30 feet to a capped 1/2" iron rod stamped "EAGLE SURVEYING" set at the Northeast corner of said Lot 2 and the common Northwest corner of Lot 1, Block C of said Star Creek Commercial;

THENCE with the South line of said Lot 1 and the following courses and distances:

South 12°17'32" East, a distance of 301.97 feet;  
North 82°37'16" East, a distance of 14.54 feet;  
South 75°26'39" East, a distance of 53.35 feet;  
North 78°13'21" East, a distance of 18.97 feet;  
North 45°00'32" East, a distance of 21.88 feet;  
North 52°36'08" East, a distance of 49.67 feet;  
North 47°52'16" East, a distance of 21.91 feet;  
North 41°38'32" East, a distance of 37.26 feet;  
North 42°31'08" East, a distance of 37.77 feet;  
North 81°35'40" East, a distance of 47.72 feet;  
North 89°40'06" East, a distance of 43.22 feet;

North 62°04'09" East, a distance of 209.60 feet to a capped 1/2" iron rod stamped "DAA" found at the Southeast corner of said Lot 1 and being in the West line of Lot 3, Block C of said Star Creek Commercial;

THENCE South 02°21'09" East, with the East line of said Lot 2 and the common West line of said Lot 3, a distance of 107.29 feet to the Southeast corner of said Lot 2 and the common Southwest corner of said

Lot 3 and in the North line of Lot 2X, Block P of Star Creek, Phase Two an addition to the City of Allen, Collin County, Texas, recorded in Volume 2007, Page 250 of the Plat Records of Collin County, Texas and being in a creek;

THENCE with the South line of said Lot 2 and the common North line of said Lot 2X, Block P and with the meanders of a creek the following courses and distances:

North 53°16'41" West, a distance of 20.80 feet;  
South 86°01'40" West, a distance of 53.02 feet;  
South 31°15'57" West, a distance of 61.71 feet;  
North 80°43'59" West, a distance of 124.76 feet;  
South 75°42'04" West, a distance of 66.10 feet;  
South 23°20'17" West, a distance of 44.46 feet;  
South 53°09'47" East, a distance of 58.03 feet;  
South 37°51'42" West, a distance of 50.41 feet;  
North 67°57'44" West, a distance of 75.56 feet;  
South 12°10'35" West, a distance of 71.43 feet;  
North 84°20'54" West, a distance of 150.81 feet;  
North 64°52'57" West, a distance of 159.97 feet;  
South 65°35'27" West, a distance of 52.19 feet;  
South 22°54'59" West, a distance of 93.60 feet;  
South 61°54'46" West, a distance of 56.37 feet;  
North 83°58'21" West, a distance of 243.39 feet to the Southwest corner of said Lot 2 and being in the East right-of-way line of Watters Road a variable width right-of-way, recorded in said Cabinet Q, Page 472;

THENCE with the West line of said Lot 2 and the common East right-of-way line of said Watters Road the following courses and distances:

North 25°25'00" West, a distance of 148.33 feet to a capped 1/2" iron rod stamped "DAA" found; North 19°44'03" East, a distance of 35.41 feet to the POINT OF BEGINNING and containing 4.575 acres of land more or less.

Jed A. Gossett



NOTE: THIS IS NOT A CONSTRUCTION DOCUMENT.  
THIS DOCUMENT IS FOR CONCEPTUAL PLANNING PURPOSES ONLY.

**OWNER:**  
Keratex, L.P.  
1720 Preston Road, Ste. 100  
Plano, Texas 75024-2345  
Phone (214) 682-9595  
Contact: Dr. Rajiv (Ray) Joseph

**ENGINEER:**  
Cross Engineering Consultants, Inc.  
1720 W. Virginia Street  
McKinney, Texas 75069  
Phone (972) 562-4409  
Fax (972) 562-4471  
Contact: Jon David Cross, P.E.

**ARCHITECT:**  
Patrick Ahearne, Architect  
814 Wind Elm Drive  
Allen, Tx 75002  
Phone (214) 673-0054  
Contact: Patrick Ahearne

**SURVEYOR:**  
Eagle Surveying, LLC  
210 South Elm Street  
Suite 104, Denton, Tx 76201  
Phone (940) 222-3009  
Contact: Ted Gossett

**CROSS ENGINEERING CONSULTANTS**

1720 W. Virginia Street  
McKinney, Texas 75069  
972.562.4409  
Texas P.E. Firm No. F-5935

Drawn By: C.E.C.I. Checked By: C.E.C.I. Scale: 1"=40'

**PD-92 AMENDMENT  
ZONING EXHIBIT**

Starcreek Commercial - Lot 2, Block C

Francis Dossier Survey, Abstract No. 280, 4.575 Acres, 199,305 sf

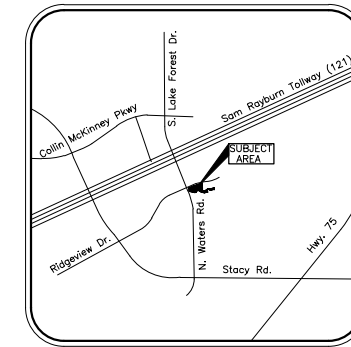
CITY OF ALLEN, COLLIN COUNTY

Sheet No.

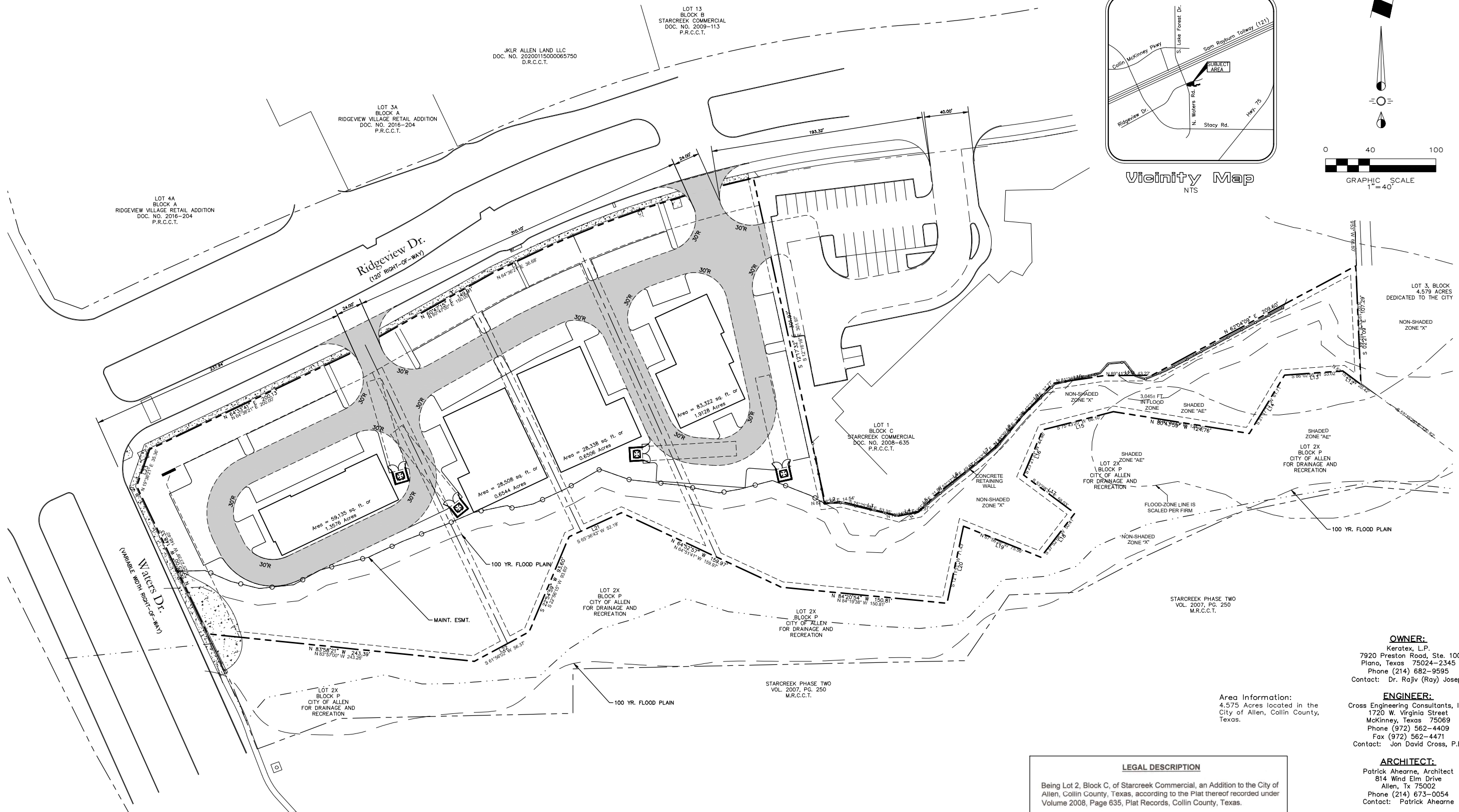
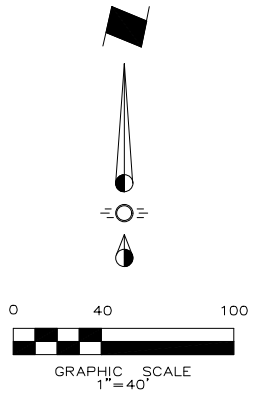
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Project No.  
20013

EXHIBIT "B"  
CONCEPT PLAN



Vicinity Map  
NTS



Area Information:  
4.575 Acres located in the  
City of Allen, Collin County,  
Texas.

LEGAL DESCRIPTION

Being Lot 2, Block C, of Starcreek Commercial, an Addition to the City of Allen, Collin County, Texas, according to the Plat thereof recorded under Volume 2008, Page 635, Plat Records, Collin County, Texas.

**OWNER:**  
Keratex, L.P.  
7920 Preston Road, Ste. 100  
Plano, Texas 75024-2345  
Phone (214) 682-9595  
Contact: Dr. Rajiv (Ray) Joseph

**ENGINEER:**  
Cross Engineering Consultants, Inc.  
1720 W. Virginia Street  
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Fax (972) 562-4471  
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Issue Dates:	Revisions:	Date:
1	1	
2	2	
3	3	
4	4	
5	5	
6	6	

<b>CROSS ENGINEERING CONSULTANTS</b>		
1720 W. Virginia Street		McKinney, Texas 75069
972.562.4409		Texas P.E. Firm No. F-5935
Drawn By:	Checked By:	Scale:
C.E.C.I.	C.E.C.I.	1"=40'

<b>PD-92 AMENDMENT</b>	Sheet No.
<b>DRIVE EXHIBIT</b>	<b>DE</b>
Starcreek Commercial - Lot 2, Block C	
Francis Dosser Survey, Abstract No. 280, 4.575 Acres, 199,305 sf	Project No.
<b>CITY OF ALLEN, COLLIN COUNTY</b>	20013

**BUILDING OWNER:** DR. RAY JOSEPH

**APPLICANT:** CROSS ENGINEERING CONSULTANTS, INC.  
MR. JOHN DAVID CROSS  
1720 WEST VIRGINIA  
MCKINNEY, TX 75069  
TELE. - 972-562-4409

**ARCHITECT:** PATRICK AHEARNE, ARCHITECT  
MR. PATRICK AHEARNE  
814 WIND ELM DRIVE  
ALLEN, TX 75002  
TELE. - 214-673-0054

**BUILDING DIMENSIONS:** MAIN BUILDING - 81'-8" WIDE x 90'-8" DEEP  
6,184 SQ/FT

**BUILDING SIGNAGE ALLOWED:**      SQ/FT PER ELEVATION

**BUILDING HEIGHT:** MAIN BUILDING • 25'-0"

NOTES:

1. **FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.**
2. **ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC VIEW AS REQUIRED BY THE COMPREHENSIVE ZONING ORDINANCE.**
3. **WHEN PERMITTED, EXPOSED UTILITY BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.**
4. **ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENTAL SERVICES.**



SCALE: 3/16" = 1'-0"

EXT-EL0FF EAST.DWG



SCALE: 3/16" = 1'-0"

EXT-EL0FF EAST.DWG



SCALE: 3/16" = 1'-0"

EXT-EL0FF EAST.DWC



SCALE: 3/16" = 1'-0"

EXT-EL0FF EAST.DWG

<u><b>FACADE CALCULATIONS:</b></u>					
<b>FRONT / NORTH ELEVATION:</b>			<b>EAST ELEVATION</b>		
BRICK/STONE VENEER:	774 SQ/FT	44%	BRICK/STONE VENEER:	1,846 SQ/FT	89%
PAINTED CEMENT PLASTER:	460 SQ/FT	26%	E.I.F.S. COPING CAP:	119 SQ/FT	6%
E.I.F.S. COPING CAP:	166 SQ/FT	10%	WINDOWS / DOORS:	115 SQ/FT	5%
WINDOWS / DOORS:	360 SQ/FT	20%			
TOTAL:	1,760 SQ/FT		TOTAL:	2,080 SQ/FT	

<u><b>FACADE CALCULATIONS:</b></u>					
<b>REAR / SOUTH ELEVATION:</b>			<b>WEST ELEVATION</b>		
BRICK/STONE VENEER:	1,299 SQ/FT	85%	BRICK/STONE VENEER:	1,851 SQ/FT	89%
E.I.F.S. COPING CAP:	166 SQ/FT	11%	E.I.F.S. COPING CAP:	119 SQ/FT	6%
WINDOWS / DOORS:	70 SQ/FT	4%	WINDOWS / DOORS:	110 SQ/FT	5%
TOTAL:	1,535 SQ/FT		TOTAL:	2,080 SQ/FT	

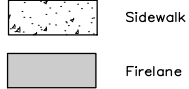


EXHIBIT "D"  
DRIVE EXHIBIT

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	215.30'	940.00'	13°07'23"	N 71°08'47" E	214.83'

LINE	BEARING	DISTANCE
L1	N 64°32'30" E	36.65'
L2	N 82°37'16" E	14.54'
L3	S 75°26'39" E	53.35'
L4	N 78°13'21" E	18.97'
L5	N 45°00'32" E	21.88'
L6	N 52°36'08" E	49.67'
L7	N 47°52'16" E	21.91'
L8	N 41°38'32" E	37.26'
L9	N 42°31'08" E	37.77'
L10	N 81°35'40" E	47.72'
L11	N 89°40'06" E	43.22'
L12	N 53°16'41" W	20.80'
L13	S 88°01'40" W	53.02'
L14	S 31°15'57" W	61.71'
L15	S 75°42'04" W	66.10'
L16	S 23°20'17" W	44.46'
L17	S 53°09'47" E	58.03'
L18	S 37°51'42" W	50.41'
L19	N 67°57'44" W	75.56'
L20	S 12°10'35" W	71.43'
L21	S 65°35'27" W	52.19'
L22	S 61°54'46" W	56.37'
L23	N 19°44'03" E	35.41'

LEGEND



SYNOPSIS

Address: Ridgeview Drive  
Allen, Texas 75013  
Zoning: PD-92 Corridor Commercial

Lot Area: 4.5754 Acres (199,305 sf)  
Lot Use/Acreage: Lot 1 Office 1,3576 acres  
Lot 2 Office 0,6544 acres  
Lot 3 Office 0,6506 acres  
Lot 4 Office 1,9128 acres

Building Areas: Building 1 5,338 sf  
Building 2 6,190 sf  
Building 3 6,764 sf  
Building 4 5,938 sf  
Total Bldg Area: 24,230 sf

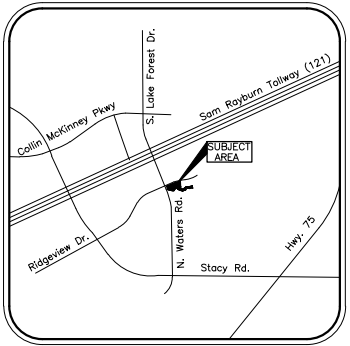
Landscape: Required: (15%) Provided:  
Lot 1 8,870 sf 13,442 sf (22.7%)  
Lot 2 4,276 sf 4,739 sf (16.6%)  
Lot 3 4,251 sf 6,033 sf (21.3%)  
Lot 4 12,498 sf 23,447 sf (28.1%)

Building Height: 27'

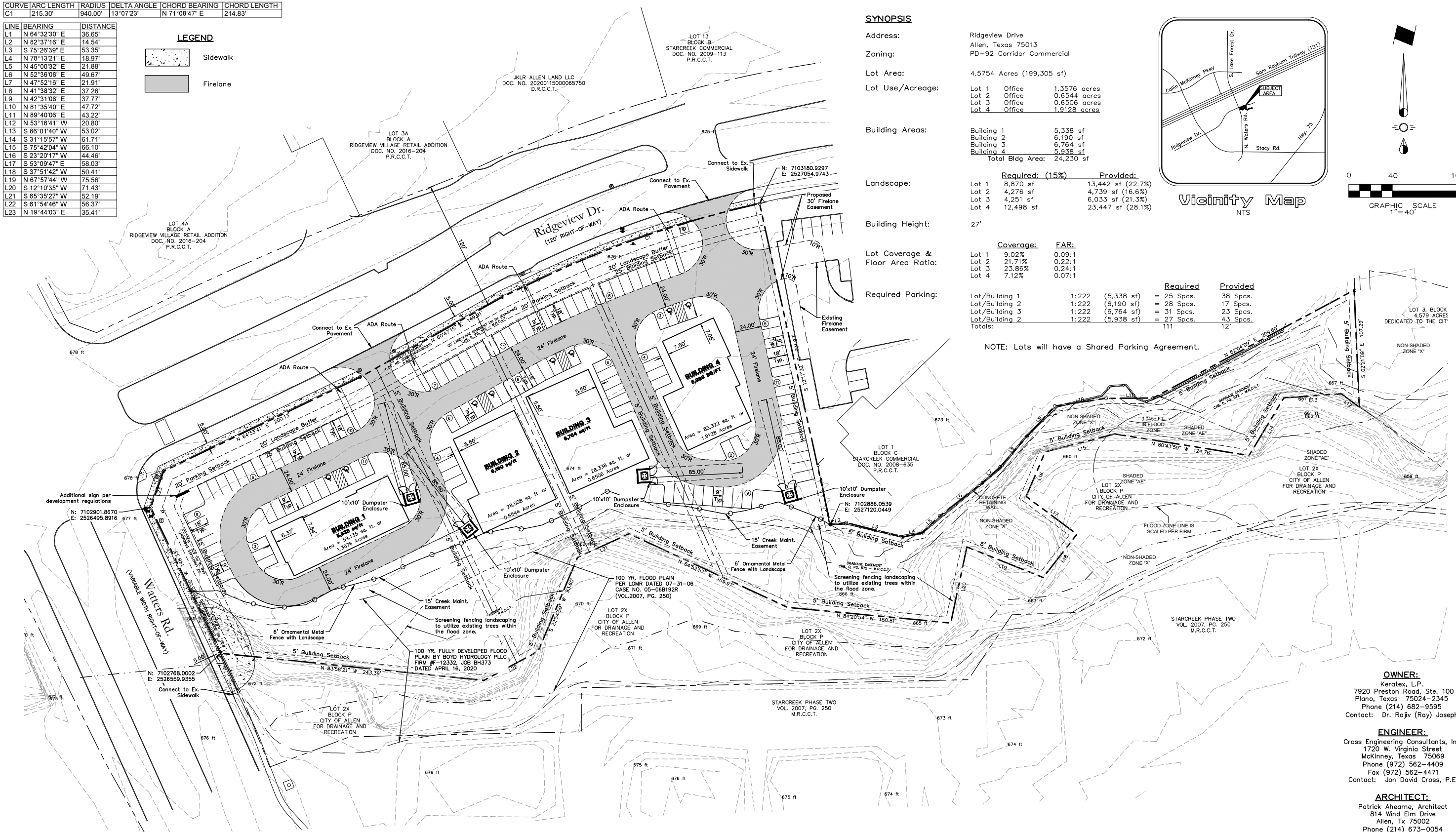
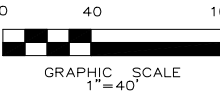
Lot Coverage & Floor Area Ratio: Coverage: FAR:  
Lot 1 9.02% 0.09:1  
Lot 2 21.71% 0.22:1  
Lot 3 23.86% 0.24:1  
Lot 4 7.12% 0.07:1

Required Parking: Lot/Building 1 1:222 (5,338 sf) = 25 Spcs. 38 Spcs.  
Lot/Building 2 1:222 (6,190 sf) = 28 Spcs. 17 Spcs.  
Lot/Building 3 1:222 (6,764 sf) = 31 Spcs. 23 Spcs.  
Lot/Building 4 1:222 (5,938 sf) = 27 Spcs. 43 Spcs.  
Totals: 111 121

NOTE: Lots will have a Shared Parking Agreement.



Vicinity Map  
NTS



- NOTES:
1. Trash enclosures shown to be masonry enclosures with 8' walls and solid doors that open 120 degrees.
  2. Property corner Northings and Eastings based on State Plane Coordinates.
  3. The Creek Maintenance Easement shall be dedicated at the time of development for each lot, after a full, detailed topographic survey has been performed, in order to ensure proper access to, and through, the area to be maintained.
  4. Screening fencing landscaping to utilize existing trees within the flood zone.

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Issue Dates:	Revisions:	Date:
1	1	
2	2	
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<b>CROSS ENGINEERING CONSULTANTS</b>	
1720 W. Virginia Street McKinney, Texas 75069 972.562.4409 Texas P.E. Firm No. F-5935	
Drawn By:	Checked By:
C.E.C.I.	C.E.C.I.
Scale: 1"=40'	

PD-92 AMENDMENT  
CONCEPT PLAN

Starcreek Commercial - Lot 2, Block C

Francis Dosser Survey, Abstract No. 280, 4.575 Acres, 199,305 sf  
CITY OF ALLEN, COLLIN COUNTY

Sheet No.

CP

Project No.  
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814 Wind Elm Drive  
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SURVEYOR:  
Eagle Surveying, LLC  
210 South Elm Street  
Suite 104, Denton, Tx 76201  
Phone (940) 222-3009  
Contact: Ted Gossett