

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, AMENDING THE ALLEN LAND DEVELOPMENT CODE AND ZONING MAP BY AMENDING THE DEVELOPMENT REGULATIONS TO PROVIDE FOR BASE ZONING OF SINGLE FAMILY RESIDENTIAL (R-7) WITH MODIFICATIONS, ADOPTING A CONCEPT PLAN, AND ADOPTING BUILDING ELEVATIONS FOR 29.001± ACRES OF LAND IN THE T.G. KENNEDY SURVEY, ABSTRACT NO. 500, CITY OF ALLEN, COLLIN COUNTY, TEXAS, WHICH PROPERTY IS LOCATED IN AND SUBJECT TO THE REGULATIONS OF PLANNED DEVELOPMENT NO. 76; PROVIDING FOR A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Allen, Texas, in compliance with the laws of the State of Texas and the ordinances of the City of Allen, Texas, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally and to all persons interested and situated in the affected area, and in the vicinity thereof, and in the exercise of its legislative discretion, have concluded that Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as previously amended, should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, THAT:

SECTION 1. The Allen Land Development Code Zoning Regulations and the Zoning Map of the City of Allen, Collin County, Texas, as previously amended, be further amended by amending the development regulations of Planned Development No. 76 and adopting a Concept Plan and Building Elevations relating to the development and use of the 29.001± acres of land located in the T.G. Kennedy Survey, Abstract No. 500, City of Allen, Collin County, Texas (“the Property”) described in Exhibit “A,” attached hereto and incorporated herein by reference.

SECTION 2. The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code (“ALDC”), as amended, except to the extent modified by the Development Regulations set forth below:

- A. BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the Single Family Residential District (R-7) except as otherwise provided in this Ordinance.
- B. CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit “B,” and incorporated herein by reference. Minor modifications to streets that do not alter the general alignment shown on the Concept Plan may be made at the time of plat approval.
- C. BUILDING ELEVATIONS:** Buildings to be constructed on the Property shall be developed in general conformance with the materials and architectural style set forth on the Building Elevations attached hereto as Exhibit “C,” and incorporated herein by reference, and shall be further subject to the following.

- (1) The maximum height shall be two and one-half (2.5) stories, but in no case exceeding thirty-five (35) feet.
- (2) All Type A lots will be front-entry; all Type B lots will be alley-loaded
- (3) Building Materials:
 - a. Type A: Type A lots shall meet the masonry and siding requirements of the ALDC
 - b. Type B: No more than 40% of Type B lots may be constructed with residential units having up to 100% siding (limited to Hardie board or fiber cement equivalent). Residential units constructed on Type B lots adjacent to Bethany Drive, Montgomery Boulevard, and on end caps shall be 100% masonry on all four elevations of the unit.

D. LOT DESIGN CRITERIA AND BUILDING SETBACKS:

- (1) Minimum Dwelling Unit Size: 1,800 square feet
- (2) Maximum Gross Density: 4.6
- (3) Maximum Lot Coverage: 65%
- (4) The minimum lot dimensions and building setbacks for the lot types shown on the Concept Plan shall be as follows:

(a) Type A Lots:

Minimum Lot Width	55 feet
Minimum Lot Depth	130 feet; 110 feet (see note 8)
Minimum Front Setback	15 feet
Minimum Rear Setback	15 feet
Minimum Side Setback	Three (3) feet for one side yard and seven (7) feet for the other side yard on the same lot; provided, however, (i) the total setback on adjacent side yards shall be not less than ten (10) feet so there is always not less than ten (10) foot required building separation established by adjacent side yard setbacks and (ii) the side yard of the lot to be set with the three (3) foot side yard shall be determined and fixed by a note on the final plat; or five (5) feet for one side yard and five (5) feet for the other side yard on the same lot

(b) Type B Lots:

Minimum Lot Width	31 feet
Minimum Lot Depth	105 feet
Minimum Front Setback	15 feet
Minimum Rear Setback	5 feet

Minimum Side Setback (if side yard not adjacent to street)	3 feet
Minimum Side Setback (if side yard adjacent to street)	10 feet

- (5) The face of the exterior garage wall for all rear entry garages must be setback not less than twenty (20) feet from the rear lot line.
 - (6) The face of the exterior garage wall for all front entry garages shall be setback not less than the greater of (i) twenty (20) feet from the front lot line and (ii) twenty (20) feet from the closest edge of the sidewalk constructed in the front yard.
 - (7) Front Porches of residential units constructed on Type B lots shall be allowed to encroach up to five feet (5') beyond the front setback, but shall not encroach into the ten foot (10') Utility and Access easement to be dedicated along the street right-of-way. Front porches of residential units constructed on Type B lots shall be allowed to encroach up to ten feet (10') beyond the front setback if no utility and access easement exists on the front of the Property.
 - (8) Minimum lot depth for Type A lots on a cul-de-sac or knuckle may be reduced to 110 feet.
- E. **SCREENING:** Screening shall be constructed and/or installed along the boundaries of the Property in general conformance with the Concept Plan attached hereto as Exhibit "B."
 - F. **FLOODPLAIN RECLAMATION:** The lot layout and developable area is contingent upon the developer proving that the floodplain reconfiguration complies with the City's policy of prohibiting adverse impact to the floodplain through a rise or increase in velocity and/or a decrease in valley storage within the floodplain area and/or a rise in the 100-yr fully urbanized water surface elevation.
 - G. **THOROUGHFARES AND STREETS:** All internal street rights-of-ways shall be a minimum width of forty-five (45) feet.
 - H. **STREET LIGHTING:** LED luminaries may be used as street lighting within the neighborhood sections; provided, however, such LED luminaries shall not be installed unless and until the owner, Homeowners' Association (HOA), and Master Maintenance Organization (MMO) have entered an agreement with the City relating to the maintenance, repair, and replacement of non-standard street lighting by the HOA and/or the MMO. The exact locations shall be determined at the time of civil engineering plan preparation and review.
 - I. **FLEXIBLE DESIGN STANDARDS:** The City's Director of Community Development, Director of Engineering, Director of Parks and Recreation, Chief Building Official, and/or Fire Chief, as the case may be, shall have the authority, but not the obligation, to approve a request to modify the development regulations identified in Table 1 below subject to the criteria and limitations set forth in Table 1 to the extent such regulations apply to the Property:

Table 1: Flexible Design Standards			
<i>Code Standard</i>	<i>Extent of Administrative Modification Permitted</i>	<i>Criteria</i>	<i>Administrator of Modification</i>
1. Concept Plan Map			
a. Location of any Required Street	Location may be shifted no more than 60 feet in any direction	i. Must maintain the connectivity intended by the Concept Plan ii. Must maintain the continuation and/or connectivity with any existing streets where possible	Director of Community Development, Director of Engineering and the Building Official.
b. Area of any Required Open Space/ Parkland	Each required Open Space or Parkland area may be reduced by no more than 10% of the area shown on the Concept Plan	i. Shall maintain the frontages required by the Concept Plan ii. Area may be adjusted to accommodate shifting of any new required Streets only	Director of Community Development, Director of Engineering, the Building Official and the Director of Parks and Recreation.
2. Development Standards			
a. Driveways	Driveways may be allowed to be closer than the 10-foot minimum spacing in order to reduce curb cuts and expand front yard space.	Driveways may abut other driveways or the property line provided both driveways meet the minimum driveway width and drainage requirements.	Director of Community Development, Director of Engineering, and the Building Official.
b. Lot Size	Lot sizes may be reduced by up to 5% of the size originally shown on the Concept Plan and reconfigured as necessary to conform with City ordinance requirements.	Lots can be reconfigured to address compliance requirements of applicable City ordinances (i.e. setbacks, drainage needs, etc.).	Director of Community Development, Director of Engineering and the Building Official.
c. Measurement of minimum lot widths of cul-de-sac lots	Adjustments can be made to the requirements that the minimum lot width is measured at the front yard setback line for lots located on cul-de-sac's radius.	The point of measurement for determining compliance with minimum lot width requirements may be relocated as necessary to accommodate a unique configuration of cul-de-sac lots by measuring a line the ends of which shall be located at the "midpoint" of the two side lot lines which intersect the front lot line	Director of Community Development, Director of Engineering and the Building Official.

d. Elevations	Minor adjustments can be made to the elevations submitted with zoning	Elevations can be modified as long as compliance with applicable City ordinances is maintained.	Director of Community Development, Director of Engineering and the Building Official.
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SECTION 3. To the extent of any irreconcilable conflict with the provisions of this Ordinance and other ordinances of the City of Allen governing the use and development of the Property and which are not expressly amended by this Ordinance, the provisions of this Ordinance shall be controlling.

SECTION 4. Should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance, or of the Allen Land Development Code Zoning Regulations, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Allen Land Development Code Zoning Regulations, as amended hereby, which shall remain in full force and effect.

SECTION 5. An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Allen Land Development Code Zoning Regulations, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 6. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in Allen Land Development Code Zoning Regulations of the City of Allen, as previously amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense.

SECTION 7. This Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Allen, and it is accordingly so ordained.

DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, ON THIS THE 13TH DAY OF SEPTEMBER 2016.

APPROVED:

Stephen Terrell, MAYOR

APPROVED AS TO FORM:

ATTEST:

Peter G. Smith, CITY ATTORNEY
(kbl:8/29/16:78644)

Shelley B. George, TRMC, CITY SECRETARY

EXHIBIT "A"
DESCRIPTION OF PROPERTY

ANGEL FIELD EAST
TRACT 1

BEING a tract of land situated in the T.G. Kennedy Survey, Abstract No. 500, City of Allen, Collin County, Texas, the subject tract being all of a tract of land conveyed to Angel Field Office Center, Ltd. according to the deed recorded in Document Number 20071108001520010 of the Deed Records, Collin County, Texas (DRCCT), the subject tract being more particularly described as follows;

BEGINNING at 1/2" iron rod with cap labeled "Halff Assoc." found for the north end of a corner clip at the intersection of the south line of Bethany Drive (a variable width public right-of-way, recorded in Volume 5093, Page 2663 DRCCT) with the east line of Montgomery Boulevard (a variable width public right-of-way);

THENCE N 88°21'50" E, 179.19 feet along the common line thereof, to a 1/2" iron rod with cap labeled "Halff Assoc." found;

THENCE continuing along the common line thereof, around a tangent curve to the right having a central angle of 02°53'17", a radius of 2466.49 feet, a chord of N 89°48'29" E - 124.31 feet, an arc length of 124.32 feet to a point for corner;

THENCE S 88°44'53" E, 154.28 feet continuing along the common line thereof, to a 1/2" iron rod with cap labeled "Halff Assoc." found;

THENCE departing said line, the following courses:

S 66°09'23" E, 133.97 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

S 32°02'09" E, 18.47 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

S 72°48'32" E, 37.50 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

S 22°03'50" E, 80.17 feet to a 1/2" iron rod with a yellow cap labeled "SPIARSENG" set;

S 04°48'34" W, 132.09 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

S 01°46'35" E, 189.90 feet to a 1/2" iron rod with a yellow cap labeled "SPIARSENG" set;

S 24°58'43" E, 50.82 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

S 02°40'58" E, 144.25 feet to a 1/2" iron rod found;

S 11°50'58" E, 128.12 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

EXHIBIT "A"
DESCRIPTION OF PROPERTY cont.

S 19°43'59" W, 57.41 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

N 48°08'28" W, 79.93 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

S 20°11'09" W, 78.24 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

N 80°07'42" W, 48.48 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

N 83°49'38" W, 226.63 feet;

N 23°31'04" W, 86.20 feet;

N 84°45'27" W, 214.15 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

N 01°49'58" W, 137.43 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

And N 85°00'03" W, 186.81 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found on the east line of said Montgomery Boulevard;

THENCE along the common line thereof, the following courses:

N 20°16'11" E, 24.19 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

Around a tangent curve to the left having a central angle of 08°49'49", a radius of 1095.00 feet, a chord of N 15°51'17" E - 168.59 feet, an arc length of 168.76 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

N 11°26'23" E, 126.14 feet continuing along the common line thereof, to a 1/2" iron rod with cap labeled "Halff Assoc." found;

Around a non-tangent curve to the left having a central angle of 11°13'06", a radius of 412.00 feet, a chord of N 04°45'59" E - 80.54 feet, an arc length of 80.67 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

And N 00°13'01" E, 164.76 feet continuing along the common line thereof, to a 1/2" iron rod with a yellow cap labeled "SPIARSENG" set for the south end of said corner clip;

THENCE N 44°17'26" E, 35.92 feet along said corner clip, to the PLACE OF BEGINNING with the subject tract containing 536,865 square feet or 12.325 acres of land.

EXHIBIT "A"
DESCRIPTION OF PROPERTY cont.

Tract 2

BEING a tract of land situated in the T.G. Kennedy Survey, Abstract No. 500, City of Allen, Collin County, Texas, the subject tract being a portion of a tract of land conveyed to Montgomery Farm Garden District, Ltd. according to the deed recorded in Document Number 20060929001402580, Deed Records, Collin County, Texas (DRCCT), the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod with plastic cap stamped "Halff" found on the east line of Montgomery Boulevard (a variable width public right-of-way) and on the south line of said Montgomery Farm Garden District tract, and being on the north line of a tract conveyed to the William S. Montgomery, Jr. Family Trust, et al, according to deed recorded in Document Number 20140908000969950 DRCCT, from said rod the most westerly southwest corner of said Montgomery Farm Garden District tract bears N 88°18'13" W, 90.01 feet;

THENCE along the east line of Montgomery Boulevard, the following courses:

N 02°20'30" E, 300.34 feet to a 1/2" iron rod with a plastic cap stamped "SPIARSENG" set;

Around a tangent curve to the right having a central angle of 017°55'41", a radius of 1005.00 feet a chord of N 11°18'20" E - 313.19 feet an arc length of 314.47 feet to a 1/2" iron rod with a plastic cap stamped "SPIARSENG" set;

And N 20°16'11" E, 88.56 feet to a 1/2" iron rod with plastic cap stamped "Halff" found for the southwest corner of a tract conveyed to Angel Field Office Center, Ltd. according to the deed recorded in Document Number 20071108001520010 DRCCT;

THENCE along the south line of said Angel Field Office Center tract, the following courses:

S 85°00'03" E, 186.81 feet to a 1/2" iron rod with plastic cap stamped "Halff" found;

S 01°49'58" E, 137.43 feet to a 1/2" iron rod with plastic cap stamped "Halff" found;

S 84°45'27" E, 214.15 feet to a 1/2" iron rod with a plastic cap stamped "SPIARSENG" set;

S 23°31'04" E, 86.20 feet to a 1/2" iron rod with a plastic cap stamped "SPIARSENG" set;

And S 83°49'38" E, 226.63 feet to a 1/2" iron rod with plastic cap stamped "Halff" found;

THENCE departing the south line thereof, the following courses:

S 21°31'42" W, 134.43 feet;

N 80°40'52" E, 42.79 feet;

EXHIBIT "A"
DESCRIPTION OF PROPERTY cont.

N 52°50'50" E, 60.80 feet;

S 45°21'20" E, 24.86 feet;

N 87°22'29" E, 98.40 feet;

S 33°53'44" E, 45.01 feet;

N 46°30'10" E, 79.44 feet;

S 38°08'02" E, 160.06 feet;

And S 00°09'50" W, 243.41 feet to the south line of said Montgomery Farm Garden District tract and the north line of said William S. Montgomery, Jr. Family Trust tract, from which a 5/8" iron rod found for witness bears S 88°18'25" E, 154.29 feet;

THENCE N 88°18'25" W, 1106.50 feet along the common line thereof, to the PLACE OF BEGINNING with the subject tract containing 524,044 square feet or 12.030 acres of land.

EXHIBIT "A"
DESCRIPTION OF PROPERTY cont.

Tract 3

BEING a tract of land situated in the T.G. Kennedy Survey, Abstract No. 500, City of Allen, Collin County, Texas, the subject tract being a portion of a tract of land conveyed to Montgomery Farm Garden District, Ltd. according to the deed recorded in Document Number 20060929001402580 of the Deed Records, Collin County, Texas (DRCCT), the subject tract being more particularly described as follows:

BEGINNING at a 1/2" iron rod with cap labeled "Halff Assoc." found on the south line of Bethany Drive (a variable width public right-of-way, recorded in Volume 5093, Page 2663 DRCCT) and being a northeasterly corner of a tract of land conveyed to Angel Field Office Center, Ltd. according to the deed recorded in Document Number 20071108001520010 DRCCT, and being on the north line of said Montgomery Farm Garden District tract;

THENCE S 66°09'20" E, 15.60 feet along the common line thereof to a 1/2" iron rod found;

THENCE S 88°45'46" E, 74.32 feet continuing along the common line thereof to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set for the most easterly northeast corner of said Montgomery Farm Garden District tract, and being the northwest corner of a tract conveyed to the City of Allen, recorded in Document Number 20111222001383680 DRCCT;

THENCE along the common line thereof, the following courses:

S 33°59'13" E, 84.60 feet;

S 00°51'12" E, 92.75 feet;

S 32°30'52" E, 75.76 feet;

S 55°07'42" E, 89.26 feet;

S 14°04'38" E, 170.25 feet;

S 39°45'32" W, 97.75 feet;

S 17°50'06" E, 87.75 feet;

S 37°11'26" E, 74.57 feet;

S 20°16'18" E, 98.35 feet;

S 57°36'18" W, 59.10 feet;

S 00°15'24" E, 76.57 feet;

EXHIBIT "A"
DESCRIPTION OF PROPERTY cont.

S 41°03'02" E, 119.21 feet;

S 31°34'38" E, 221.83 feet;

And S 01°55'19" E, 107.12 feet to the southeast corner of said Montgomery Farm Garden District tract, and being the northeast corner of a tract conveyed to the William S. Montgomery, Jr. Family Trust, et al, according to deed recorded in Document Number 20140908000969950 DRCCT;

THENCE N 88°18'25" W, along the common line thereof, passing at 20.79 feet a 5/8" iron rod found for witness, continuing a total distance of 175.07 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

THENCE departing said common line, the following courses:

N 00°09'50" E, 243.41 feet;

N 38°08'02" W, 160.06 feet;

S 46°30'10" W, 79.44 feet;

N 33°53'44" W, 45.01 feet;

S 87°22'29" W, 98.40 feet;

N 45°21'20" W, 24.86 feet;

S 52°50'50" W, 60.80 feet;

S 80°40'52" W, 42.79 feet;

And N 21°31'42" E, 134.43 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found on the south line of said Angel Field Office Center tract;

THENCE along the south and east lines of said Angel Field Office Center tract, the following courses:

S 80°07'42" E, 48.48 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

N 20°11'09" E, 78.24 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

S 48°08'28" E, 79.93 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

EXHIBIT "A"
DESCRIPTION OF PROPERTY cont.

N 19°43'59" E, 57.41 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

N 11°50'58" W, 128.12 feet to a 1/2" iron rod found;

N 02°40'58" W, 144.25 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

N 24°58'43" W, 50.82 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

N 01°46'35" W, 189.90 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

N 04°48'34" E, 132.09 feet to a 1/2" iron rod with plastic cap stamped "SPIARSENG" set;

N 22°03'50" W, 80.17 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

N 72°48'32" W, 37.50 feet to a 1/2" iron rod with cap labeled "Halff Assoc." found;

And N 32°02'09" W, 18.47 feet to the PLACE OF BEGINNING with the subject tract containing 202,370 square feet or 4.646 acres of land.

GENERAL NOTES:

1. SEE SHEET 10-1 FOR THE 10' TRAIL ALONG BETHANY DR. AND 10' TRAIL ALONG WATERS BRANCH.
2. CONCEPT PLAN - THIS PLAN IS A CONCEPTUAL DESIGN AND IS NOT A FINAL DESIGN. IT IS SUBJECT TO APPROVAL BY THE CITY OF MONTGOMERY AND THE STATE OF MONTGOMERY.
3. THE 10' TRAIL ALONG BETHANY DR. AND 10' TRAIL ALONG WATERS BRANCH ARE SHOWN FOR INFORMATION ONLY. THEY ARE NOT TO BE CONSIDERED AS PART OF THE FINAL DESIGN.
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EXHIBIT “C”
BUILDING ELEVATIONS

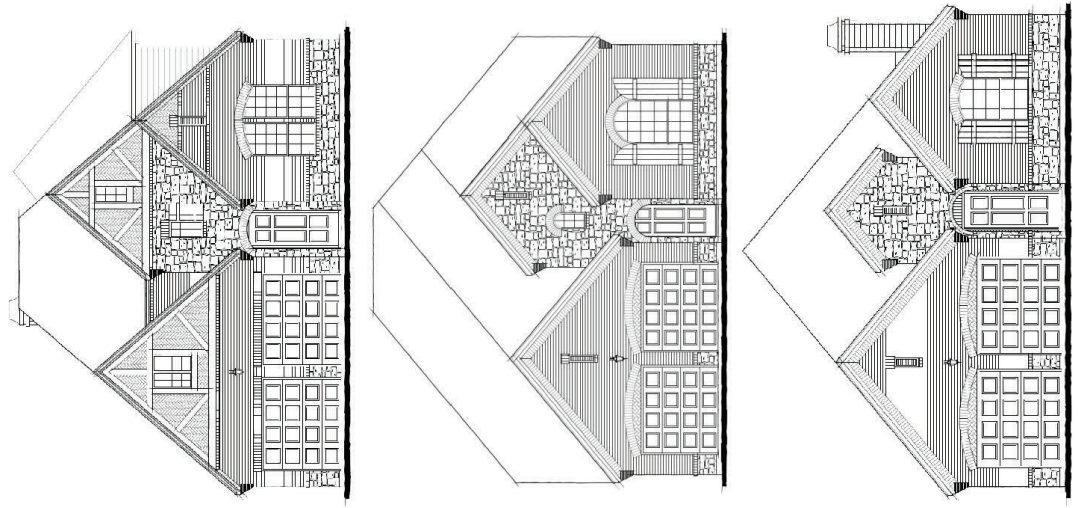
Primary Façade Materials: Brick, Stone, Stucco
Roof Materials: Asphalt Shingles, Standing Seam Metal, Tile



55' Wide Lot Elevation Examples – Type A

EXHIBIT “C”
BUILDING ELEVATIONS cont.

Primary Facade Materials: Brick, Stucco
Roof Materials: Asphalt Shingles, Standing Seam Metal, Tile



55' Wide Lot Elevation Examples – Type A

EXHIBIT “C”
BUILDING ELEVATIONS cont.

Primary Façade Materials: Brick, Stone, Stucco
Roof Materials: Asphalt Shingles, Standing Seam Metal, Tile



55' Wide Lot Elevation Examples – Type A

EXHIBIT “C”
BUILDING ELEVATIONS cont.

Primary Facade Materials: Brick, Stone, Stucco
Roof Materials: Asphalt Shingles, Standing Seam Metal, Tile



55' Wide Lot Elevation Examples – Type A

EXHIBIT “C”
BUILDING ELEVATIONS cont.

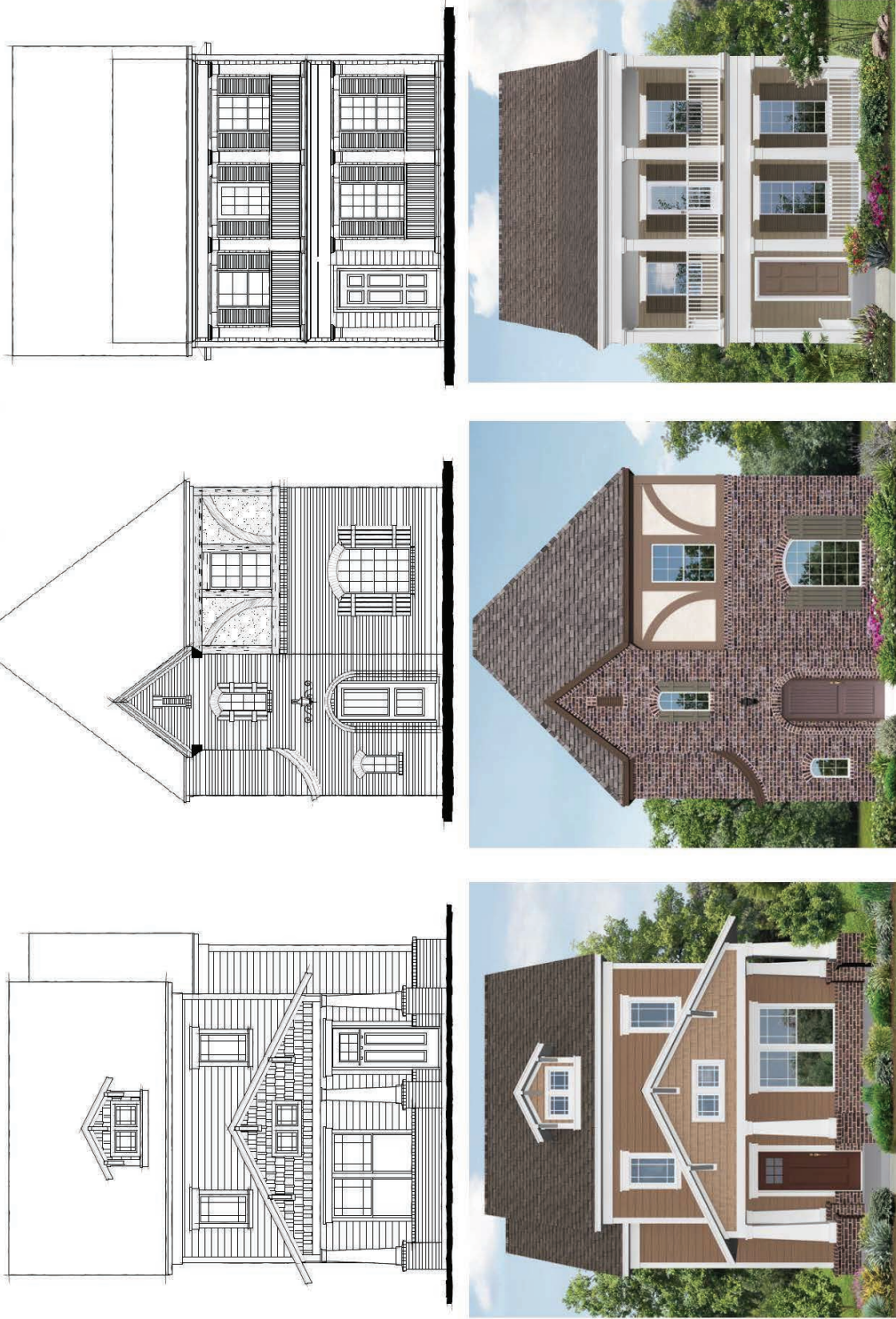
31' Wide Lot Elevation Examples – Type B



Primary Façade Materials: Brick, Stone, Stucco, Siding. A maximum of 40% of the lots may have up to 100% siding (limited to hardie board or fiber cement equivalent). However, lots adjacent to Bethany Drive, Montgomery Blvd., and on end caps shall meet the masonry and siding requirements of the ALDC. **Roof Materials:** Asphalt Shingles, Standing Seam Metal, Tile

**EXHIBIT “C”
BUILDING ELEVATIONS cont.**

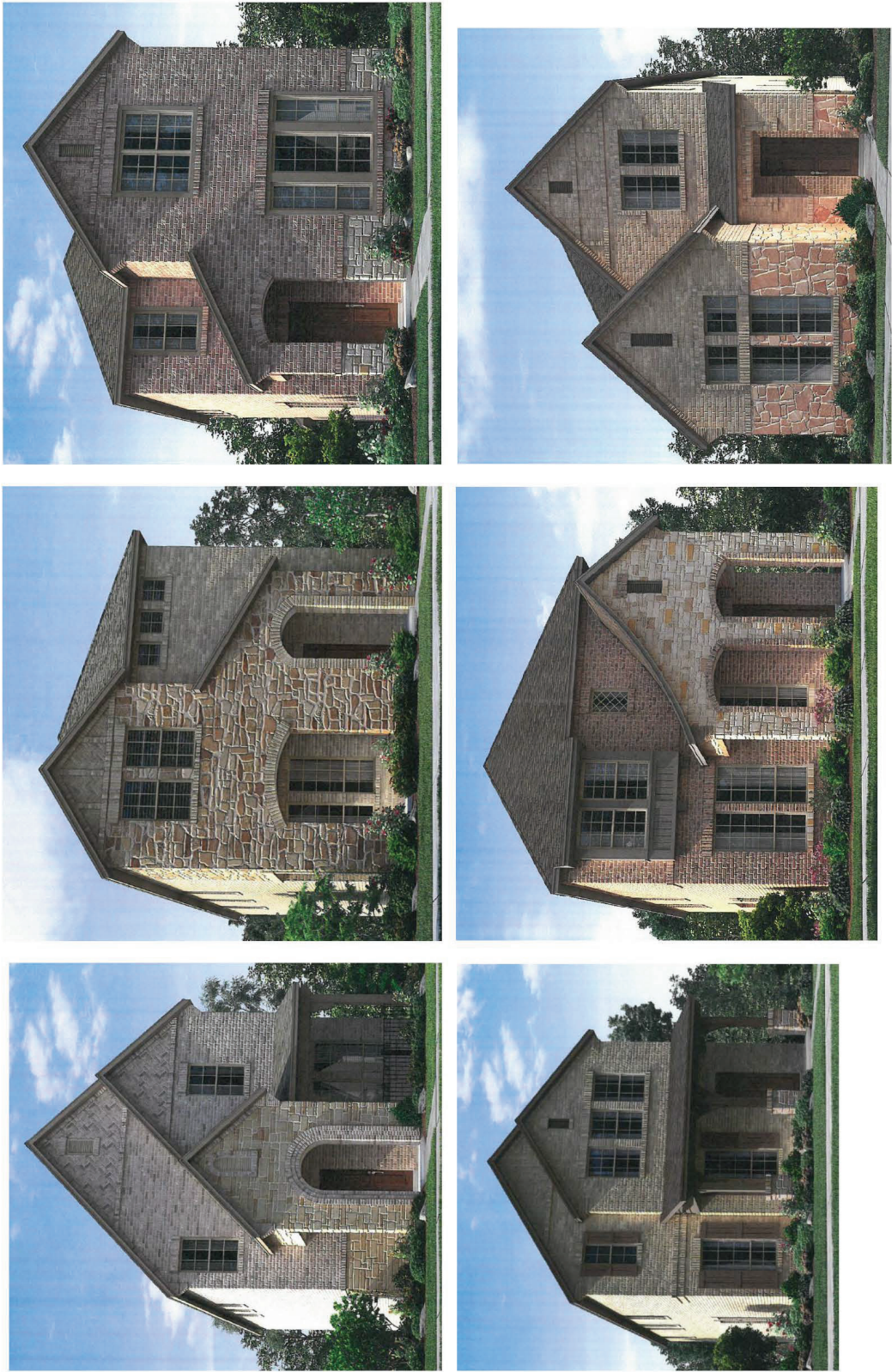
31' Wide Lot Elevation Examples – Type B



Primary Façade Materials: Brick, Stone, Stucco, Siding. A maximum of 40% of the lots may have up to 100% siding (limited to hardie board or fiber cement equivalent). However, lots adjacent to Bethany Drive, Montgomery Blvd., and on end caps shall meet the masonry and siding requirements of the ALDC. **Roof Materials:** Asphalt Shingles, Standing Seam Metal, Tile

EXHIBIT “C”
BUILDING ELEVATIONS cont.

31’ Wide Lot Elevation Examples – Type B



Primary Façade Materials: Brick, Stone, Stucco, Siding. A maximum of 40% of the lots may have up to 100% siding (limited to hardie board or fiber cement equivalent). However, lots adjacent to Bethany Drive, Montgomery Blvd., and on end caps shall meet the masonry and siding requirements of the ALDC. **Roof Materials:** Asphalt Shingles, Standing Seam Metal, Tile

EXHIBIT “C”
BUILDING ELEVATIONS cont.

31' Wide Lot Elevation Example Images – Type B



Primary Façade Materials: Brick, Stone, Stucco, Siding. A maximum of 40% of the lots may have up to 100% siding (limited to hardie board or fiber cement equivalent). However, lots adjacent to Bethany Drive, Montgomery Blvd., and on end caps shall meet the masonry and siding requirements of the ALDC. **Roof Materials:** Asphalt Shingles, Standing Seam Metal, Tile