

ORDINANCE NO. _____

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, AMENDING THE ALLEN LAND DEVELOPMENT CODE AND ZONING MAP, AS PREVIOUSLY AMENDED, BY AMENDING THE DEVELOPMENT REGULATIONS, ADOPTING A CONCEPT PLAN, ADOPTING A STREET CONCEPT PLAN AND ADOPTING BUILDING ELEVATIONS FOR 39.9± ACRES OF LAND IN THE THOMAS G. KENNEDY SURVEY, ABSTRACT NO. 500, CITY OF ALLEN, COLLIN COUNTY, TEXAS. WHICH PROPERTY IS LOCATED IN AND SUBJECT TO THE REGULATIONS OF PLANNED DEVELOPMENT NO. 74; PROVIDING FOR A CONFLICTS RESOLUTION CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000) FOR EACH OFFENSE; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, the Planning and Zoning Commission and the governing body of the City of Allen, Texas, in compliance with the laws of the State of Texas and the ordinances of the City of Allen, Texas, have given the requisite notices by publication and otherwise, and after holding due hearings and affording a full and fair hearing to all the property owners generally and to all persons interested and situated in the affected area, and in the vicinity thereof, and in the exercise of its legislative discretion, have concluded that Allen Land Development Code Zoning Regulations and Zoning Map of the City of Allen, Texas, as previously amended, should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ALLEN, COLLIN COUNTY, TEXAS, THAT:

SECTION 1. The Allen Land Development Code Zoning Regulations and the Zoning Map of the City of Allen, Collin County, Texas, as previously amended, be further amended by amending the development regulations of Planned Development No. 74 and adopting a Concept Plan, Street Concept Plan and Building Elevations for 39.9± acres of land in the Thomas G. Kennedy Survey, Abstract No. 500, City of Allen, Collin County, Texas (“the Property”) described in Exhibit “A,” attached hereto and incorporated herein by reference.

SECTION 2. The Property shall be developed and used in accordance with the applicable provisions of the Allen Land Development Code, as amended, except to the extent modified by the Development Regulations set forth below:

- A. BASE ZONING DISTRICT:** The Property shall be developed and used only in accordance with the development regulations of the Single-Family Residential “R-7” zoning regulations of the *Allen Land Development Code* (“ALDC”), except as otherwise provided herein.
- B. CONCEPT PLAN:** The Property shall be developed in general conformance with the Concept Plan attached hereto as Exhibit B and incorporated herein by reference.
- C. FLEXIBLE DESIGN STANDARDS:** The Director of Community Development, Director of Engineering, Director of Parks and Recreation and/or Chief Building Official, as the case may be, shall have the authority, but not the obligation, to approve a request to modify the development regulations identified in Table 1 below subject to the criteria and limitations set forth in Table 1 to the extent such regulations apply to the Property:

Table 1**Flexible Design Standards**

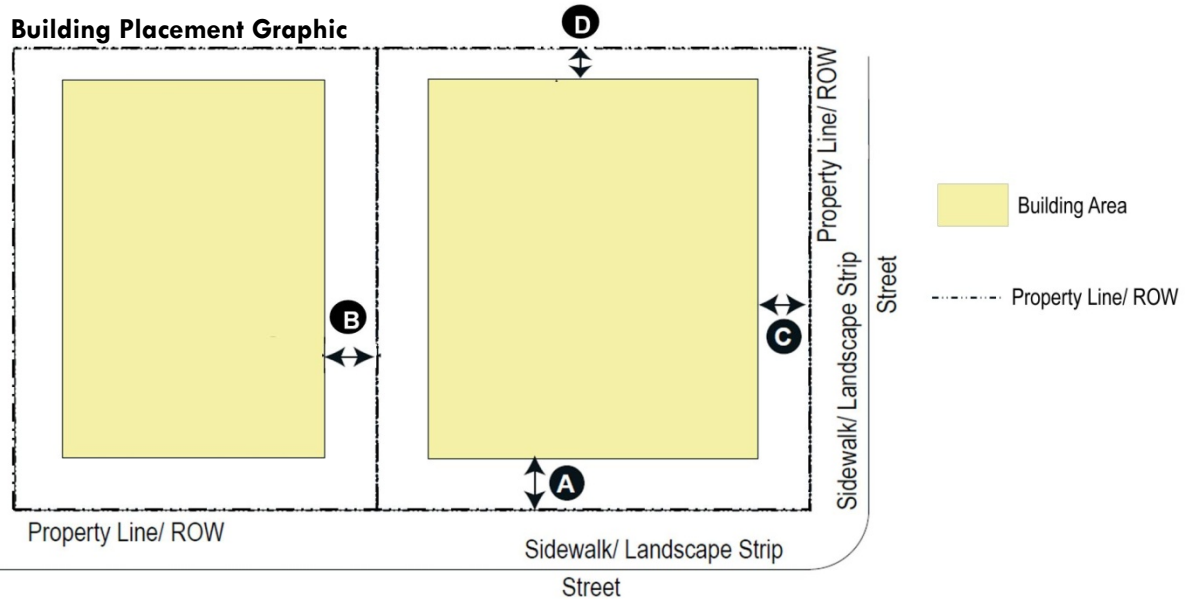
Code Standard	Extent of Administrative Modification Permitted	Criteria	Administer of Modification
1. Concept Plan Map			
a. Location of any <u>new</u> Required Street	Location may be shifted no more than 60' in any direction.	i. Shall maintain the connectivity intended by the Concept Plan. ii. Shall maintain the continuation and/or connectivity with any existing streets where possible.	Director of Community Development, Director of Engineering and the Building Official.
b. Area of any Required Open Space/ Parkland	May be reduced by no more than 10%.	i. Shall maintain the frontages required by the Concept Plan. ii. Area may be adjusted to accommodate shifting of any new Required Streets only.	Director of Community Development, Director of Engineering, the Building Official and the Director of Parks and Recreation.
2. Development Standards			
a. Streetscape standards ¹	Street tree planting may be adjusted based on the development context and street cross section.	Any changes to the streetscape standards shall be based on specific development context such as existing vegetation, natural features, drainage, and fire access and is subject to approval by the City.	Director of Community Development, Director of Engineering, and the Building Official.
b. Side yard setback	Side yard setbacks for lots located across the street from any front yard may be modified.	Any such changes to the side yards based on compatibility of streetscape.	Director of Community Development, Director of Engineering, and the Building Official.
c. Driveways	Driveways may be allowed to be closer than the 10' minimum spacing in order to reduce curb cuts and expand front yard space.	Driveways may abut other driveways or the property line provided both driveways meet the minimum driveway width and drainage requirements.	Director of Community Development, Director of Engineering, and the Building Official.

¹Streetscape configurations are subject to modification through the construction plan review and approval process to accommodate utilities, sight visibility, safety and similar. Street trees may not be planted in the ROW unless they are documented in civil plan documents according to these regulations.

D. DEVELOPMENT REGULATIONS:

- 1. Building Placement, Lot Standards and Building Height:** The location of buildings, lot configuration, and building heights on the Property shall comply to the following graphic and matrix:

Building Placement Graphic



Building Placement

Setback (Primary Building)

Front	10' min. setback from property line	A
Side (Between Lots)	3' min. setback from property line ²	B
Side (Corner Lot along public street) ¹	10' min. setback from property line	C
Rear (See Section 2 for rear entry garages)	10' min. setback ³	D

¹For a situation where the side of one house is across the street from the front of another, the Setback may be allowed to differ in order to create a varied street condition: per approval through the Flexible Design Standards.

²Subject to adjacent Setback and Firewall requirements in the Building code.

³Building rear setback measured from property line unless there is alley access in which case the setback is measured from the edge of alley pavement to be congruent with rear garage setback.

Lot Standards⁴

Lot Dimension	<ul style="list-style-type: none"> Min. 40' x 80' lots for single-family detached buildings Refer to Concept Plan for specific lot Dimensions.
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⁴No lot-to-lot drainage permitted

Building Height⁵

Principal Building Standards

- Building maximum
- Two (2) stories not to exceed 35'

⁵Building height shall be measured at the mid-point of the roof of the elevation facing the street.

2. **Parking, Garages & Fences:** The location, configuration, spacing, and construction of off-street parking, garages, and fences on the Property shall conform to the ALDC except as modified below. For the purposes of this section D.2.; “off-street parking” means a parking space that is wholly contained within the property line of the associated dwelling unit.

Parking, Garages & Fences		
Parking and Fence Placement		
	Front	<ul style="list-style-type: none"> J-swing garage setback 10'; or Face of garage wall exterior a min. 3' behind the building façade line along that frontage, and Allowing for at least 20' of depth from garage wall exterior to property line if garage door faces street.
	Rear	<ul style="list-style-type: none"> 5' from edge of typical pavement or 20' or greater from edge of typical pavement
	Fence	<ul style="list-style-type: none"> 5' from edge of typical pavement or 5' minimum from face of garage wall exterior where above ground franchise appurtenances exist.

Required Off-Street Parking Spaces

- Residential uses shall provide a minimum of 2.0 off-street parking spaces per dwelling unit

Alley/Mews Served Lots

- Front-loaded garages shall not be allowed on lots served by an alley/mews.
- All lots that face an adjacent green must provide on-street parking within a reasonable distance.
- Fences in alleys shall be setback 5' beyond the face of the garage where above-ground franchise appurtenances (meters, transformers, communication pedestals, etc.) will be located clear of alley maneuvering.
- Side entry garages are not permitted.

Driveways

- Driveways shall allow space for utilities and waste collection.
- Front entry driveways shall have colored concrete with a color mix that is uniformly colored throughout and not sprayed, overlaid or otherwise applied to top layers. Stamped surfaces are strongly encouraged.
- Garage doors shall be decorative.

- E. **BUILDING ELEVATIONS:** The Property shall be developed in general conformance with the Building Elevations attached hereto as Exhibit C, and incorporated herein by reference.

F. BUILDING MATERIALS:

1. In addition to building materials defined as “masonry” in the ALDC, cementious-fiber clapboard (not sheet) with at least a 50-year warranty shall be deemed to satisfy the masonry requirement.
2. Traditional 3 Coat Stucco shall be allowed for typical use.

G. MINIMUM DWELLING UNIT SIZE: The minimum dwelling unit size is 1,600 square feet.

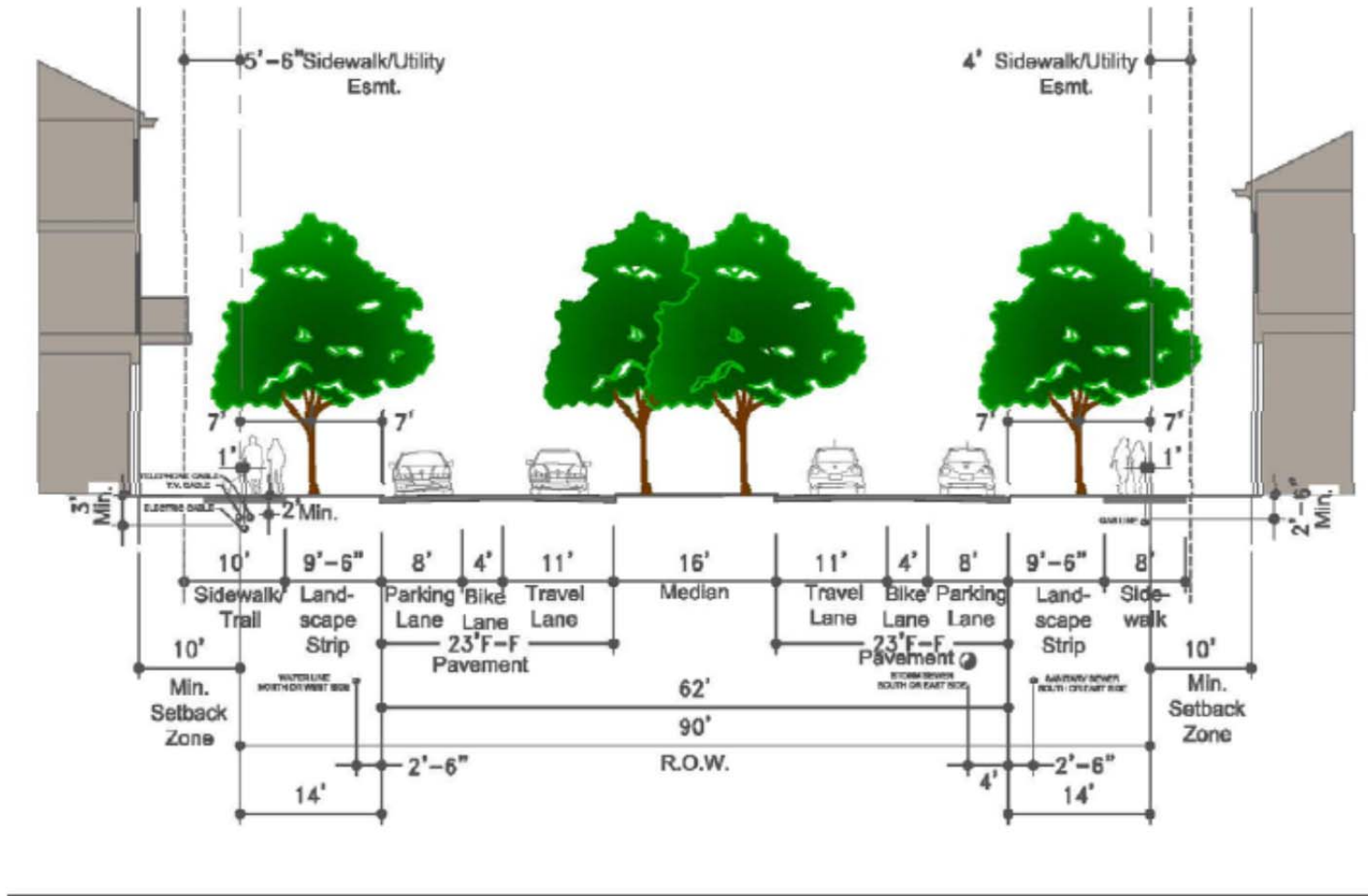
H. STREET DESIGN: The Property shall be developed in general conformance with the Street Concept Plan attached hereto as Exhibit D and incorporated herein by reference.

1. **Street Classifications:** This section establishes standards for all elements within the public right-of-way including travel lane(s), on-street parking, bicycle accommodation, streetscape/parkway standards, and sidewalk standards.
 - a. A license agreement between the City and the Owner or Developer of the Property (or portion thereof) setting forth the terms, conditions, and obligations of the Developer and its successors in title (including, but not limited to, any property owners/homeowners association established to own and maintain the common areas developed within the Property or portion thereof) to maintain the medians in the public right-of-way must be in effect prior to acceptance by the City of Allen Engineering Department of any subdivision developed within the Property.
 - b. All public sidewalks and ramps shall be built to at least the accessibility standards required by Federal or State law and regulation in effect at the time of construction, including, but not limited to, the Americans with Disabilities Act, as amended, Chapter 469 of the Texas Government Code, as amended, and the regulations adopted pursuant to such laws.
 - c. Street and alleys within the Property shall be developed in accordance with the cross sections for the street classifications set forth in Table 2 and the related graphics.
 - d. “Alternative Surface” as used in this Subsection H.1, means “Grasscrete” or another permeable or textured or colored surface to differentiate primary driving surface from side paved area.
 - e. “Permeable Walkway” as used in this Subsection H.1. means (i) compacted crushed granite or other similar material that allows for proper drainage and (ii) where a hardscape concrete trail is required, permeable concrete.

Table 2

Street Classification Summary Table

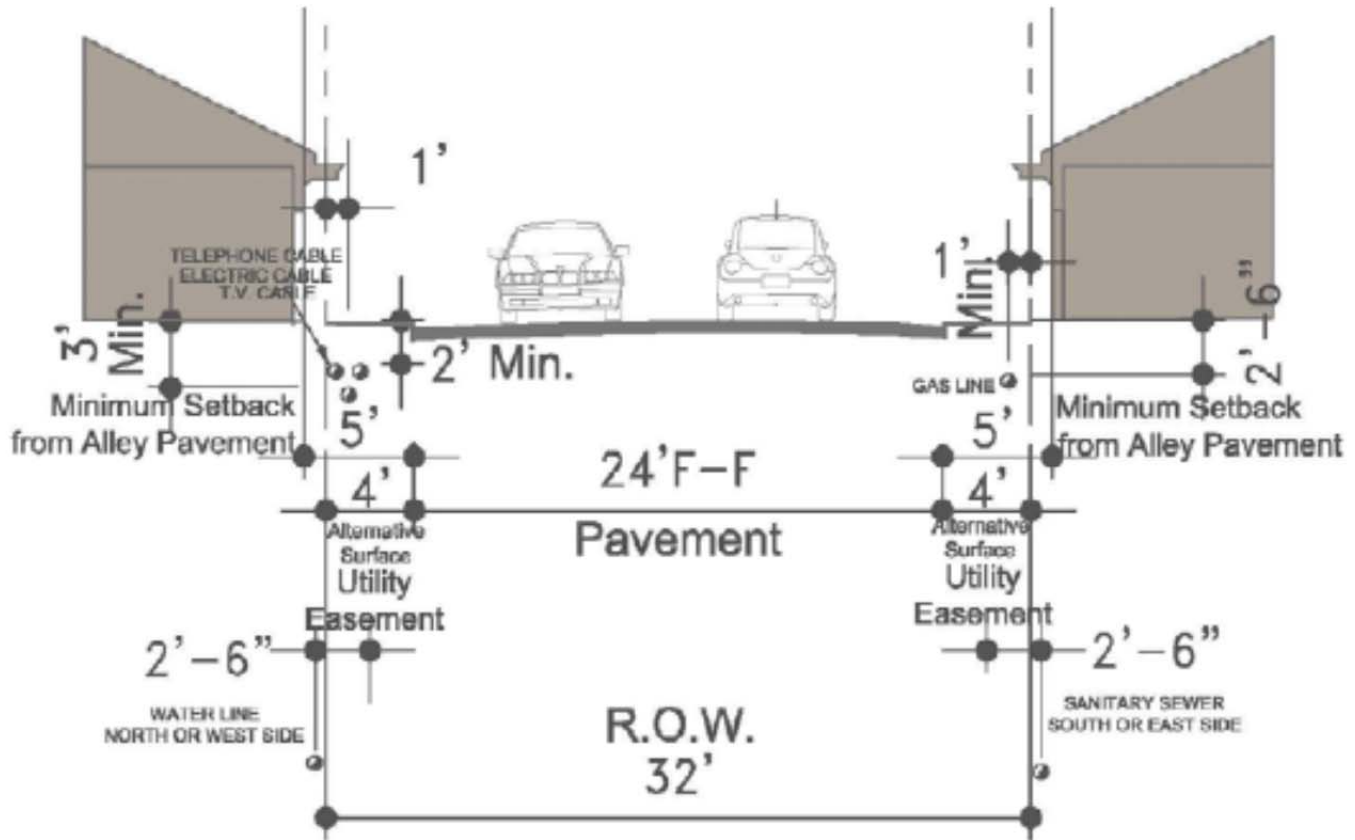
Street Classification	Street Width (Recommended minimum)			Vehicular Lane Widths	On-Street Parking	Sidewalk Width	Street Trees
	R.O.W.	Curb to Curb	Pedestrian Zone				
Boulevard	90'-100'	62'-72' with 16'-26' median	17' 6"	11' with 4' Bike Lane	Yes, both sides, parallel	8' (min)	Yes
Neighborhood Street	54'	28'	15' 6"	10'	Yes, one side, unmarked	6' (min)	Yes
Mews Street	32'	24'	4'	12'	None	4' (min.) Permeable walkway	None
Mews Alley	24'	24' (16' concrete flanked by 4' alternative surface)	0'	16'	None	None	None
Alley	20'	16' no raised curbs	0'	16'	None	None	None



Street Type A

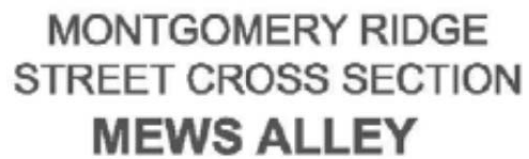
MONTGOMERY RIDGE
STREET CROSS SECTION
BOULEVARD

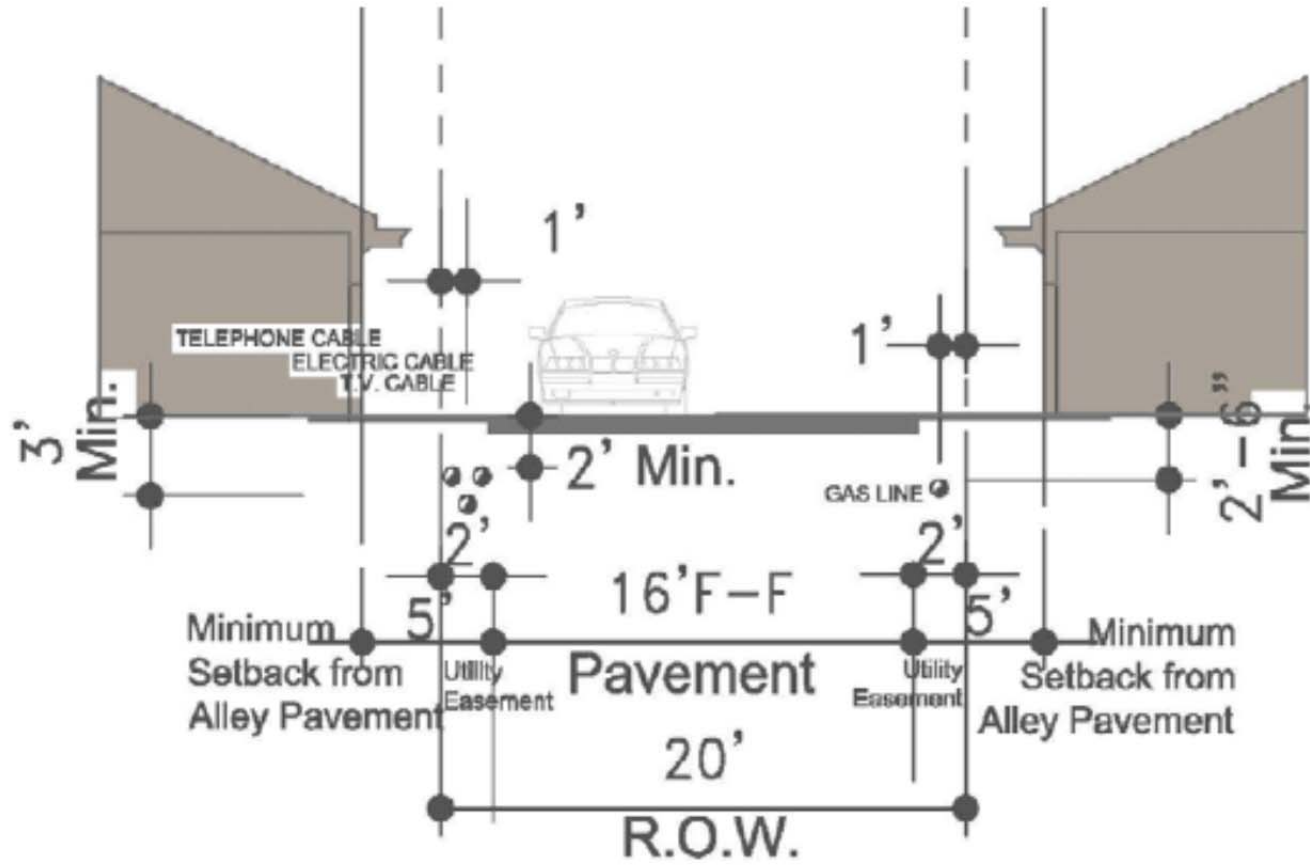




MONTGOMERY RIDGE
STREET CROSS SECTION
MEWS STREET

* No parking is allowed on Mews Streets.





Street Type E

**MONTGOMERY RIDGE
STREET CROSS SECTION
ALLEY**

2. **Streetscape and Landscape Standards:** Landscaping within the public right-of-way shall be in accordance with the standards in Table 2 and this Paragraph 2.
- a. Street trees shall be required per the street classifications in Table 2 within the Landscape Strip. The trees shall be selected from those in Table 3.
 - b. Spacing of trees shall be between 30 feet to 40 feet on center (measured per block face) along all streets as required by Table 2.
 - c. Street trees may be used to mitigate existing trees that are removed as part of the development process per standards in the ALDC, Article VII, Section 7.06 – Tree preservation.
 - d. Street trees shall not be placed near intersections where they may present a sight obstruction.
 - e. Street trees may be planted after home construction.
 - f. Sidewalks and street trees shall be maintained by a property owners/homeowners association to be established prior to the issuance of the first building permit for the portion of the Property being developed.
 - g. Substantially enhanced pedestrian crossings, both visually and tactilely, shall be constructed at intersections which intersect Montgomery Boulevard, and entrances to the development.
 - h. Cluster mailboxes may be used in this development.

Table 3
Approved Street Trees

Medium trees 25-40 feet

<i>Sideroxylon lanuginosum</i>	Chittamwood
<i>Pistacia chinensis</i>	Chinese Pistachio *male selection only
<i>Cupressus arizonica</i>	Arizona Cypress
<i>Diospyros texana</i>	Texas Persimmon
<i>Diospyros virginiana</i>	Common Persimmon
<i>Fraxinus texensis</i>	Texas Ash
<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia

Note: minimum 6 foot planting strip and 30- 40 foot spacing.

Large trees 40 feet and taller

<i>Carya illinoensis</i>	Pecan
<i>Quercus buckleyi</i>	Texas Red Oak
<i>Quercus laceyi</i>	Lacey Oak
<i>Quercus macrocarpa</i>	Bur Oak
<i>Quercus muhlenbergii</i>	Chinquapin Oak
<i>Quercus polymorpha</i>	Mexican White Oak
<i>Quercus shumardii</i>	Shumard Red Oak
<i>Quercus virginiana</i> 'Cathedral'	Live Oak 'Cathedral'
<i>Quercus virginiana</i> 'Highrise'	Live oak 'Highrise'
<i>Ulmus americana</i> 'Accolade'	American elm 'Accolade'
<i>Ulmus americana</i> 'Frontier'	American elm 'Frontier'
<i>Ulmus crassifolia</i>	Cedar Elm

Note: minimum 6 foot planting strip and 30 – 40 foot spacing.

SECTION 3. To the extent of any irreconcilable conflict with the provisions of this Ordinance and other ordinances of the City of Allen governing the use and development of the Property and which are not expressly amended by this Ordinance, the provisions of this Ordinance shall be controlling.

SECTION 4. Should any word, sentence, paragraph, subdivision, clause, phrase or section of this Ordinance, or of the Allen Land Development Code Zoning Regulations, as amended hereby, be adjudged or held to be void or unconstitutional, the same shall not affect the validity of the remaining portions of said ordinance or the Allen Land Development Code Zoning Regulations, as amended hereby, which shall remain in full force and effect.

SECTION 5. An offense committed before the effective date of this Ordinance is governed by prior law and the provisions of the Allen Land Development Code Zoning Regulations, as amended, in effect when the offense was committed and the former law is continued in effect for this purpose.

SECTION 6. Any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in Allen Land Development Code Zoning Regulations of the City of Allen, as previously amended, and upon conviction shall be punished by a fine not to exceed the sum of Two Thousand Dollars (\$2,000) for each offense.

SECTION 7. This Ordinance shall take effect immediately from and after its passage and publication in accordance with the provisions of the Charter of the City of Allen, and it is accordingly so ordained.

**DULY PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ALLEN,
COLLIN COUNTY, TEXAS, ON THIS THE 26TH DAY OF AUGUST, 2014.**

APPROVED:

Stephen Terrell, MAYOR

APPROVED AS TO FORM:

ATTEST:

**Peter G. Smith, CITY ATTORNEY
SECRETARY**
(kbl:7/31/14:67362)

Shelley B. George, TRMC, CITY

EXHIBIT "A"
DESCRIPTION OF PROPERTY

BEING A 39.941 ACRE TRACT OF LAND SITUATED IN THE THOMAS G. KENNEDY SURVEY, ABSTRACT NO. 500, CITY OF ALLEN, COLLIN COUNTY, TEXAS, AND BEING A PORTION OF A CALLED 111.43 ACRE TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEEDS FROM NENA MONTGOMERY MURDOCK, TRUSTEE OF THE NENA MONTGOMERY MURDOCK DECLARATION OF TRUST TO BLESSED ACRES, L.P., (10.237% INTEREST), RECORDED IN COUNTY CLERK'S FILE NO. 20090324000335940, OFFICIAL PUBLIC RECORDS, COLLIN COUNTY, TEXAS, (O.P.R.C.C.T.); LELAND MILLER MONTGOMERY TO BLESSED ACRES, L.P., (10.50% INTEREST), RECORDED IN COUNTY CLERK'S FILE NO. 20090324000335950, O.P.R.C.C.T.; ELLEN MONTGOMERY McCAFFERTY TO BLESSED ACRES, L.P., (10.50% INTEREST), RECORDED IN COUNTY CLERK'S FILE NO. 20090324000335960, O.P.R.C.C.T.; WILLIAM S. MONTGOMERY, J.R. TO BLESSED ACRES L.P., (10.50% INTEREST), RECORDED IN COUNTY CLERK'S FILE NO. 20090324000335970, O.P.R.C.C.T., AND A PORTION OF A CALLED 111.789 ACRE TRACT OF LAND DESCRIBED IN GENERAL WARRANTY DEEDS FROM MONERY, INC. TO WRETCHED LAND, L.P. (0.13263% INTEREST), RECORDED IN COUNTY CLERK'S FILE NO. 20061012001474620, O.P.R.C.C.T.; MARIAN MILLER MONTGOMERY TO WRETCHED LAND, L.P., (13.13037% INTEREST), RECORDED IN COUNTY CLERK'S FILE NO. 20061012001474590, O.P.R.C.C.T.; A SPECIAL WARRANTY DEED FROM WELLS FARGO BANK, N.A., TRUSTEE OF THE WILLIAM S. MONTGOMERY FAMILY TRUST 1994 TO WILLIAM S. MONTGOMERY, J.R., TRUSTEE OF THE WILLIAM S. MONTGOMERY, JR. FAMILY TRUST 1994 U/A (11.25% INTEREST); NENA CARROLL MONTGOMERY, TRUSTEE OF THE NENA CARROLL MONTGOMERY FAMILY TRUST 1994 U/A (11.25% INTEREST); ELLEN MONTGOMERY McCAFFERTY, TRUSTEE OF THE ELLEN MONTGOMERY McCAFFERTY FAMILY TRUST 1994 U/A (11.25% INTEREST) AND LELAND MILLER MONTGOMERY, TRUSTEE OF THE LELAND MILLER MONTGOMERY FAMILY TRUST 1994 U/A (11.25% INTEREST), RECORDED IN COUNTY CLERK'S FILE NO. 2005-0135155, O.P.R.C.C.T.; SAID 39.941 ACRE TRACT ALSO BEING OF LAND AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER AT THE TERMINUS OF MONTGOMERY BOULEVARD (F.K.A. BELAIR DRIVE, A 90-FOOT RIGHT-OF-WAY AT THIS POINT) AS CONVEYED TO THE CITY OF ALLEN IN THE AGREED FINAL JUDGMENT RECORDED IN VOLUME 5724, PAGE 38 OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF COLLIN COUNTY, TEXAS, AND BEING IN THE NORTH LINE OF THAT SAID 111.789 ACRE TRACT OF LAND;

THENCE OVER AND ACROSS SAID 111.789 ACRE TRACT OF LAND, THE FOLLOWING TWENTY-FIVE (25) CALLS:

- 1) SOUTH 06°09'23" EAST, A DISTANCE OF 185.03 FEET TO THE POINT OF CURVATURE OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS POINT WHICH BEARS NORTH 76°33'52" EAST, A DISTANCE OF 315.00 FEET;
- 2) SOUTHEASTERLY WITH SAID CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 57°47'57" FOR AN ARC LENGTH OF 317.77 FEET, A CHORD BEARING OF SOUTH 42°20'07" EAST AND A CHORD DISTANCE OF 304.47 FEET TO THE END OF SAID CURVE;
- 3) SOUTH 18°42'43" WEST, A DISTANCE OF 90.43 FEET;
- 4) SOUTH 00°40'43" WEST, A DISTANCE OF 78.23 FEET;
- 5) SOUTH 89°19'17" EAST, A DISTANCE OF 20.00 FEET;
- 6) SOUTH 00°40'43" WEST, A DISTANCE OF 648.38 FEET;
- 7) SOUTH 87°42'08" EAST, A DISTANCE OF 2.03 FEET;
- 8) SOUTH 00°40'43" WEST, A DISTANCE OF 118.82 FEET;
- 9) SOUTH 55°34'53" WEST, A DISTANCE OF 59.50 FEET;
- 10) SOUTH 34°25'07" EAST, A DISTANCE OF 54.00 FEET;
- 11) SOUTH 55°34'53" WEST, A DISTANCE OF 14.31 FEET;

EXHIBIT "A"
DESCRIPTION OF PROPERTY cont.

- 12) SOUTH 23°28'17" WEST, A DISTANCE OF 15.79 FEET;
- 13) SOUTH 08°38'18" EAST, A DISTANCE OF 135.05 FEET;
- 14) SOUTH 55°34'53" WEST, A DISTANCE OF 298.27 FEET;
- 15) SOUTH 38°40'27" EAST, A DISTANCE OF 9.07 FEET;
- 16) SOUTH 51°19'33" WEST, A DISTANCE OF 292.98 FEET;
- 17) SOUTH 07°54'48" WEST, A DISTANCE OF 117.17 FEET;
- 18) NORTH 67°34'19" WEST, A DISTANCE OF 97.30 FEET;
- 19) NORTH 56°36'08" WEST, A DISTANCE OF 79.30 FEET;
- 20) NORTH 45°42'16" WEST, A DISTANCE OF 79.30 FEET;
- 21) NORTH 34°46'44" WEST, A DISTANCE OF 79.30 FEET;
- 22) NORTH 23°56'38" WEST, A DISTANCE OF 79.31 FEET;
- 23) NORTH 12°45'36" WEST, A DISTANCE OF 80.68 FEET;
- 24) NORTH 01°48'55" WEST, A DISTANCE OF 107.01 FEET;
- 25) NORTH 71°37'33" WEST, A DISTANCE OF 27.53 FEET TO THE SOUTHWESTERLY LINE OF SAID 111.789 ACRE TRACT OF LAND SAME BEING THE NORTHEASTERLY LINE OF A CALLED 203.0 ACRE TRACT OF LAND DESCRIBED IN SPECIAL WARRANTY DEED TO EMERSON FARM COMPANY, LTD RECORDED IN VOLUME 5688, PAGE 738, OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF COLLIN COUNTY, TEXAS;

THENCE ALONG THE COMMON LINE OF SAID 111.789 ACRE TRACT OF LAND AND SAID 203.0 ACRE TRACT OF LAND, THE FOLLOWING TWO (2) CALLS:

- 1) NORTH 03°39'28" WEST, A DISTANCE OF 87.23 FEET;
- 2) NORTH 54°32'53" WEST, A DISTANCE OF 98.34 FEET;

THENCE LEAVING THE COMMON LINE OF SAID 111.789 ACRE TRACT OF LAND AND SAID 203.0 ACRE TRACT OF LAND OVER AND ACROSS THE SAID 111.789 ACRE TRACT OF LAND, THE FOLLOWING TWO (2) CALLS:

- 1) NORTH 01°52'49" EAST, A DISTANCE OF 1293.55 FEET;
- 2) NORTH 88°08'00" WEST, A DISTANCE OF 9.88 FEET TO THE COMMON LINE OF SAID 111.789 ACRE TRACT OF LAND AND SAID 203.0 ACRE TRACT OF LAND;

THENCE NORTH 01°52'00" EAST, A DISTANCE OF 307.76 FEET TO THE NORTHWEST CORNER OF SAID 111.789 ACRE TRACT OF LAND SAME BEING THE SOUTHWEST CORNER OF THAT CALLED 14.438 ACRE TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEED TO EMERSON FARM COMPANY, LTD. RECORDED IN VOLUME 5034, PAGE 158, OFFICIAL PUBLIC RECORDS OF REAL PROPERTY OF COLLIN COUNTY, TEXAS;

EXHIBIT "A"
DESCRIPTION OF PROPERTY cont.

THENCE ALONG THE COMMON LINE OF SAID 111.789 ACRE TRACT OF LAND AND SAID 14.438 ACRE TRACT OF LAND, THE FOLLOWING THREE (3) CALLS:

- 1) SOUTH 88°27'27" EAST, A DISTANCE OF 290.92 FEET;
- 2) SOUTH 01°03'21" WEST, A DISTANCE OF 203.73 FEET;
- 3) SOUTH 87°17'55" EAST, AT A DISTANCE OF 381.61 FEET PASSING THE SOUTHEAST CORNER OF SAID 14.438 ACRE TRACT OF LAND SAME BEING THE SOUTHWEST CORNER OF THE AFOREMENTIONED MONTGOMERY BOULEVARD, CONTINUING ALONG COMMON LINE OF SAID 111.789 ACRE TRACT OF LAND AND THE SOUTH TERMINUS LINE OF SAID MONTGOMERY RIDGE BOULEVARD IN ALL FOR A TOTAL DISTANCE OF 471.61 FEET TO THE POINT OF BEGINNING;

CONTAINING A COMPUTED AREA OF 39.941 ACRES OF LAND, MORE OR LESS.

PD-105 AO Boundary of Existing Trees
Emerson Farm CO, LTD VOL 5034, PG. 158 D.R.C.C.T.

PD-105 R-S Montgomery Blvd.*

PD-76 TH

Watters Creek at Montgomery Farm PH-1 PD-99 MIX

Watters Creek at Montgomery Farm #2 VOL 2007, PG. P.R.C.C.T.

PD-66 CC PD-99 MIX

US-75

Future Phase For Illustrative Purposes Only

Connection to Future Trail Emerson Farm CO, LTD VOL 5688, PG. 738 D.R.C.C.T.

Connection to Existing Trail

Gardens of Connemara, LTD VOL 5849, PG. 4339 D.R.C.C.T.

Connection to Existing Trail

Miscellaneous

- Open Areas
- House Frontage
- Future Collector
- Existing Trees
- Ph. I Boundary
- Future Phase
- FEMA Flood Plain

PD Totals

PD _	39.9 +/- AC
Gross Density	4.2 Units/AC
Net Density	7.55 Unit/AC

Lot Counts by Size

60'+ Lots	42
50' -59' Lots	75
40' -49' Lots	52
Total	169

Character Zone

Neighborhood	39.9+/- AC
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Open Space

Open Space/ Local Trail	Required	Provided
	2.24 AC	3.44 AC

***Montgomery Blvd. will be extended in accordance with a development agreement**

The Courses at Watters Creek FP-CF CF

Scale: 1" = 300'

North Arrow

Inset Map: Shows location relative to W. McDermott Dr., W. Bethany Dr., and US-75.

City of Allen PD - Montgomery Ridge Concept Plan

August 11, 2014

GATEWAY PLANNING
A VIALTA GROUP PARTNER

BURY **JTV** **CITY OF ALLEN TEXAS**

Owner: Wretched Land L.P.
Prepared By: Villa Group
Client: Scott Pollock
Date: 10/01/2013
Project No.: 13001
Drawn By: J. De Rose
Checked By: T. H. Jones
Reviewed By: B. J. Jones

This product is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. No warranty is made regarding specific accuracy or completeness.

EXHIBIT "C" BUILDING ELEVATIONS



Materials: A combination of stone, fiber cement siding, composite shingle.



Materials: A combination of fiber cement siding, composite shingle.



Materials: A combination of stone, brick, fiber cement siding, composite shingle.



Materials: A combination of stone, brick, fiber cement siding, composite shingle.



Materials: A combination of fiber cement siding, composite shingle.



Materials: A combination of brick, fiber cement siding, composite shingle.



Materials: A combination of brick, composite shingle.



Materials: A combination of stone, brick, composite shingle.



Materials: A combination of brick, fiber cement siding, composite shingle.



Materials: A combination of brick, fiber cement siding, composite shingle.



Materials: A combination of stone, brick, fiber cement siding, composite shingle.

EXHIBIT "D"

STREET CONCEPT PLAN

